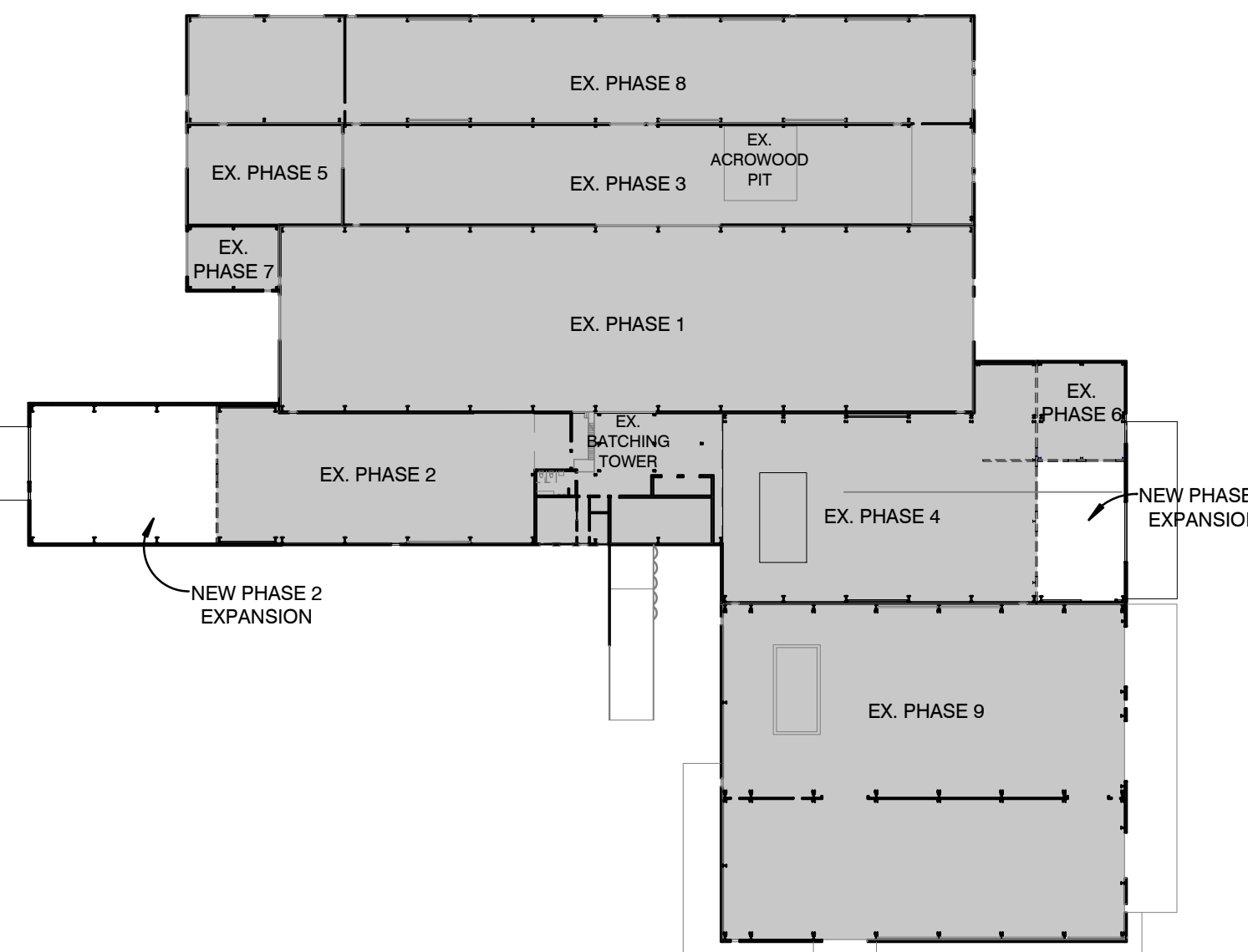


M CON PRECAST PLANT PHASE 2 & PHASE 4 EXPANSION 2460 CARP ROAD OTTAWA, ONTARIO



1 LOCATION PLAN
SCALE N.T.S.



2 KEY PLAN
SCALE N.T.S.

LIST OF CONTRACT DOCUMENTS:

ARCHITECTURAL	
A000	LOCATION PLAN, LIST OF CONTRACT DOCUMENTS, SPECIFICATIONS, OBC (2012) MATRIX
A001	PHASE 2 & 4 DEMOLITION PLANS
A002	PHASE 2 & 4 DEMOLITION ELEVATIONS
A100	SITE PLAN
A101	OVERALL PLANT FLOOR PLAN & ENTING PATHS
A102	PHASE 2 EXPANSION FLOOR PLAN, PLAN DETAILS
A103	PHASE 4 EXPANSION FLOOR PLAN, PLAN DETAILS
A104	PHASE 2 & 4 ROOF PLAN, D/P/H SCHEDULE
A200	PHASE 2 ELEVATIONS
A201	PHASE 4 ELEVATIONS
A300	PHASE 2 BUILDING SECTIONS
A301	PHASE 4 BUILDING SECTIONS
A350	PHASE 2 WALL SECTIONS
A351	PHASE 2 WALL SECTIONS
A352	PHASE 4 WALL SECTIONS

STRUCTURAL	
S000	GENERAL NOTES
S201	NEW PHASE 2 FOUNDATION PLAN
S202	NEW PHASE 2 STEEL
S203	NEW PHASE 2 STEEL
S204	NEW PHASE 2 ELEVATION OF NEW STEEL
S205	NEW PHASE 2 ELEVATION OF NEW STEEL
S206	NEW PHASE 2 ELEVATION OF NEW STEEL
S401	NEW PHASE 4 FOUNDATION PLAN
S402	NEW PHASE 4 FOUNDATION DETAILS, SECTIONS
S403	NEW PHASE 4 STEEL
S404	NEW PHASE 4 STEEL
S405	NEW PHASE 4 ELEVATION OF NEW STEEL
S406	NEW PHASE 4 ELEVATION OF NEW STEEL

MECHANICAL	
M1	PUMPINGS LAYOUTS
M2	HVAC LAYOUTS
M3	PUMPINGS SPECS
M4	HVAC SPECS

ELECTRICAL	
E1	ELECTRICAL LAYOUTS
E2	ELECTRICAL SPECIFICATIONS

Item	Ontario Building Code 2012 Data Matrix Parts 3 & 9	OBC Reference	
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9
2	Major Occupancy(s) F3 (Low hazard for combustible content)	3.1.2.1 (1)	9.10.2
3	Building Area (m ²) Existing 8,563 New 581 Total 9,144	1.1.3.2	1.1.3.2
4	Gross Area (m ²) Existing 8,696 New 581 Total 9,277	1.1.3.2	1.1.3.2
5	Number of Storeys Above Grade 1 Below Grade 0	3.2.1.1	9.10.4
6	Number of Streets/Fire Fighter Access	3.2.2.10 & 3.2.5.	9.10.20.3
7	Building Classification	3.2.2.20-83	9.10.2
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17	9.10.8.2
9	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Existing Alternative Solution)	3.2.9	N/A
10	Fire Alarm Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4	9.10.18.2
11	Adequate Water Supply for Firefighting Provided <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A
13	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Both <input checked="" type="checkbox"/> Non-combustible	3.2.2.20-83	9.10.6
14	Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Both <input checked="" type="checkbox"/> Non-combustible	3.2.2.10 & 3.2.5.	9.10.4.1
15	Occupant Load based on <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building	3.1.17	9.9.1.3
16	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8	9.5.2/3.8
17	No changes proposed to existing non-compliant access. Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19	9.10.1.3(4)
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floors 0 Hours Roof 0 Hours Mezzanine 0 Hours FRR of Supporting Members 0 Hours Listed Design No. or Description (SG-2)	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9
19	Spatial Separation / Construction of Exterior Walls Wall Area of EBF (m ²) Limiting Distance L/H or H/L Permitted Max. % of Openings Proposed % of Openings	3.2.3	9.10.14
20	Health Requirements Ventilation - see Mechanical Engineering Drawings. Plumbing Fixtures - See drawing A101 occupant load/washroom notations.	3.7 3.7.4	9.31.
21	Safety Requirements within Floor Areas Separation of Suites Egress Requirements See item 27 below.	N/A 3.3.1.1 3.3.1.5	9.10.9.14 9.9.1.1 (1)
22	Location and Design of Access Routes See dimensions on site plan A100.	3.2.5.4, 5, & 6	
23	Protection of Exit Facilities	N/A	3.2.3.13 9.9.4
24	Wall Exposed to Another Wall	N/A	3.2.3.14 9.10.12.3
25	Canopy Protection for Vertically Separated Openings (E/F1/F2)	N/A	3.2.3.17
26	Lighting and Emergency Power See Electrical Engineering Drawings	3.2.7	
27	Safety Requirements for exits: Complies with 3.4.2.5. (2) - see drawing A101 for details	3.4	9.9.8/9.9.9
28	OBC SB-10. For Compliance Analysis, see OBC Form attached to Building Permit Application. 1. Project Information / Compliance Summary 2. Form B 3. Form 5.4 / 5.5-1 & 5.5-2 4. Mechanical & Electrical - Forms 6-10		

CENTRAL PRECAST INC.

January 26, 2017

The R-Value Calculation of the precast concrete insulated wall panel is carried out as follows:
Reference: CPCI Design Manual 4, (6.1.5), and PCI Design Handbook 6, (9.1.5)

	Metric	Imperial
Surface Air Film (Exterior)	0.030	0.17
75mm Normal Density Concrete	0.039	0.30
100mm Styrofoam Panelmate Ultra, Extruded	3.96	22.4
Polystyrene by Dow	0.052	0.40
100mm Normal Density Concrete	0.120	0.68
Surface Air Film (Interior)	0.120	0.68
Total Value	4.201	23.95
	RSI (m²·°C/W)	R (ft²·h²·°F/BTU)

CENTRAL PRECAST INC.

Joe Zito

SPECIFICATIONS

1. GENERAL

- SEE PROJECT DESCRIPTION UNDER ONTARIO BUILDING CODE (2012) DATA MATRIX ELSEWHERE ON THE DRAWINGS.
- ALL CONTRACTORS SHALL READ AND COMPLY WITH 88-0 PROJECT INFORMATION DETAILED FORMS IDENTIFIED IN ITEM 28 OF THE O.B.C. DATA MATRIX.
- THIS IS OF THE ESSENCE IN THE EXECUTION AND COMPLETION OF THIS WORK.
- WARRANTY: A 12 MONTH WARRANTY FOR THE WORK OF ALL CONTRACTORS SHALL APPLY FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK. PROVIDE EXTENDED WARRANTIES AS CALLED FOR HEREIN ON THE DRAWINGS OR BY CONTRACT.
- PROVIDE LIABILITY INSURANCE & BONDS AS REQUIRED BY THE PROJECT MANAGER.
- ALL TENDERS ARE TO BE COMPLETE, INCLUDING ALL FINES RELATED PERMITS, FEES, ETC. AND ARE TO BE BASED ON COMPLETE EXAMINATION OF THE DRAWINGS, THE SITE, AND ALL CONDITIONS ESTABLISHED BY THE PROJECT MANAGER AND/OR THE ARCHITECT. THE MAIN BUILDING PERMIT FEE WILL BE PAID DIRECTLY BY THE OWNER.
- ALL CONTRACTORS SHALL CO-ORDINATE AND CO-OPERATE WITH EACH OTHER ALLOW ACCESS FOR ANY OWNERS WORK.
- PROTECT ALL WORK FROM DAMAGE. KEEP ALL MATERIALS SECURE. ERECT ALL HOARDING, FENCINGS, BARRIERS AND SIGNAGE AS REQUIRED.
- WORKMANSHIP SHALL BE TO THE BEST STANDARD FOR EACH RESPECTIVE TRADE. ERECT ALL WORK ACCURATELY SQUARE, SECURE, PLUMB, STRAIGHT, TRUE AND TO ACCEPTED TOLERANCES. PROVIDE AND COMPLY WITH MANUFACTURERS PRINTED INSTRUCTIONS. CARRY ON WORK ONLY IN WEATHER, TEMPERATURE OR ENVIRONMENTAL CONDITIONS ACCEPTABLE TO INDUSTRY STANDARDS. MAINTAIN GOOD ALL WEATHER CONDITIONS AS REQUIRED FOR A COMPLETE JOB. CLEAN ALL WORK AND WORK AREAS ON AN ONGOING BASIS.
- CO-ORDINATE WITH THE PROJECT MANAGER FOR PHASES OF THE WORK AND OVERALL CONSTRUCTION SCHEDULE.
- CONTRACTORS SHALL ARRANGE FOR & PAY FOR ALL NECESSARY TEMPORARY SERVICES AND FACILITIES. CONSULT WITH THE PROJECT MANAGER ON THESE.

2. SITEWORK

- LEGALLY ACQUIRE OFF-SITE ALL DEPLETED MATERIAL & ITEMS REQUIRING REMOVAL, DEMOLITION, ETC.
- PROTECT ALL EXISTING STRUCTURE AND UTILITIES. CONTACT ALL RELEVANT MUNICIPAL AND UTILITY AUTHORITIES FOR LOCATES, AND CARRY OUT WORK TO THEIR APPROVAL.
- REPLACE AND/OR REPAIR ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THIS CONTRACT AND EXPENSE TO THE OWNER.
- PROVIDE HOARDINGS, BRACINGS, SHORINGS, COVERS, ETC. AS REQUIRED.
- CO-ORDINATE AND CARRY OUT ALL NEW ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL ENGINEERING & LANDSCAPE REQUIREMENTS.
- SITE WORK INCLUDES ALL ITEMS SHOWN ON OR READY INFERRABLE FROM THE ARCHITECTURAL, LANDSCAPE & ENGINEERING SITE PLANS & DETAILS. INCLUDES ALL EXCAVATION, REMOVALS, DEMOLITIONS, SEWER & DRAIN CONNECTIONS, UTILITIES, BACKFILLING, COMPACTOR, ROUGH & FINISHED GRADING, PAVING, CURBING, LANDSCAPING, ETC. FOR A COMPLETE JOB.
- LAY OUT THE BUILDING BY SURVEY, OBSERVING ALL SETBACKS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL SITE PLAN.
- DO NOT COVER ANY WORK UNTIL PROPERLY INSPECTED BY THE PERTINENT CONSULTANT AND AUTHORITY.
- OBTAIN APPROVAL FROM THE GEOTECHNICAL ENGINEER FOR ALL BEARING SURFACES, BACKFILL MATERIALS AND COMPACTON. SEE ALSO STRUCTURAL DETAILS.

3. CONCRETE

- SEE APPLICABLE STRUCTURAL AND CIVIL ENGINEERING DRAWINGS & DETAILS.
- NEW PRECAST CONCRETE ITEMS TO BE MANUFACTURED BY AN APPROVED MANUFACTURER ACCEPTABLE BY THE OWNER.
- PROVIDE AND INSTALL PRECAST CONCRETE WHERE SHOWN ON OR IMPLIED BY THE DRAWINGS. THE PRECAST CONCRETE SUB-CONTRACTOR AND HIS AGENTS SHALL BE FULLY RESPONSIBLE FOR THE DESIGN AND ADJUSTMENT OF THE PRECAST CONCRETE TO CARRY ALL LOADS TO WHICH IT WILL BE SUBJECTED.
- OUTLETS OF PRECAST CONCRETE SECTIONS ARE SHOWN ON THE DRAWINGS. DETAILS OF REINFORCEMENT AND CONNECTIONS (WITH SOME EXCEPTIONS) ARE NOT SHOWN. PROVIDE THIS INFORMATION AS REQUIRED ON SHOP DRAWINGS. BEARING THE SEAL AND SIGNATURE OF AN ONTARIO STRUCTURAL ENGINEER. PROVIDE SAMPLE UNITS FOR THE APPROVAL OF THE ARCHITECT, THE PROJECT MANAGER AND THE OWNER.
- PROVIDE INSTRUCTIONS AND CERTIFICATION OF THE PRECAST INSTALLATIONS BY AN ONTARIO STRUCTURAL ENGINEER.

4. MASONRY - N/A

5. METALS

- SEE APPLICABLE STRUCTURAL ENGINEERING DRAWINGS & DETAILS.
- INTERIOR METAL WALLS - SEE DETAILS ON DRAWINGS.
- SUPPLY AND INSTALL ALL MISCELLANEOUS METAL AS SHOWN ON THE DRAWINGS. SHOP DETAILS AND TOUCH-UP WELDS IN THE FIELD.
- PROVIDE SHOP DRAWINGS OF ALL ITEMS FOR THE ARCHITECTS REVIEW.
- SAFETY LIFELINE STAYS (AS APPLICABLE) MANUFACTURER TO PROVIDE DESIGN DRAWINGS SIGNED AND SEALED BY AN ONTARIO STRUCTURAL ENGINEER FOR ALL CONNECTIONS, LOADS, ETC. AS REQUIRED BY SECTION 4 OF THE ONTARIO BUILDING CODE AND INSPECTIONS DURING CONSTRUCTION AND FINAL CERTIFICATION BY THE ENGINEER THAT THE INSTALLATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE REVISED DESIGN DRAWINGS.

6. CARPENTRY

- SUPPLY & INSTALL ROUGH CARPENTRY AS REQUIRED FOR A COMPLETE PROJECT. INCLUDES ALL FRAMING, PLYWOOD SHEATHING, SETTING OF ROUGH BLOCKS, CENTER CURBS, SUBBERS, VARIOUS BARRIERS, HATCHWAYS, STRAPPING, FLOORING, FISTER EQUIPMENT BOARDS, DOORS AND TRIM, HARDWARE, FLASHING, INSULATION, ETC. INSTALL NAILS, SCREWS, BOLTS AND SUNDRY ANCHORS AS REQUIRED FOR SOUND CONSTRUCTION. USE APPROVED NON-CORROSIVE FASTENERS WHEREVER THERE IS THE POSSIBILITY OF SPANNING OR CORROSION. EXAMINE THE DRAWINGS TO DETERMINE THE TOTAL SCOPE OF THIS WORK, AND PROVIDE SHOP DRAWINGS FOR THE ARCHITECTS REVIEW.
- ALL BUILT UP WOOD BLOCKS, CURBS, GROUNDS, VALERS, ROUGH BLOCKS, ETC. TO BE BUILT OF PRESERVE-TREATED LUMBER OR PLYWOOD. APPLY WOOD PRESERVATIVE TO ALL CUT SURFACES.
- ALL POLY-VARCOUR-MOISTURE BARRIER TO CONFORM TO C988-B-3.1. ENSURE CONTINUOUS SEAL TO STRUCTURE. SEAL ALL JOINTS WITH 4" MIN. LAP.

7. THERMAL AND MOISTURE PROTECTION

1. MEMBRANE ROOFING

- ROOFING SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, GOOD PRACTICE AND THE CODE OF THE CANADIAN ROOFING CONTRACTORS ASSOCIATION (C.R.C.A.) TERMS OF REFERENCE ESTABLISHED BY THE PROJECT MANAGER.
- PROVIDE A 12 MONTH C.R.C.A. WARRANTY FOR MATERIAL AND LABOUR AND A 20-YEAR ROOF SYSTEM WARRANTY.
- SEE DIVISION 5, MECHANICAL, FOR ROOF DRAIN, HARDWARE AND OTHER ROOF TOP EQUIPMENT, VENTS, PENETRATIONS, ETC.
- STANDARD OF ACCEPTANCE 2-PLY 888 MODIFIED BITUMEN BY K.O.
- SUPPLY, INSTALL, ADAPT FABRIC VARIOUS PROTECTORS BY ATLANTIC COATED FABRICS (ACF), BITUMEN AND ARE TO BE BASED ON COMPLETE EXAMINATION OF THE DRAWINGS, THE SITE, AND ALL CONDITIONS ESTABLISHED BY THE PROJECT MANAGER AND/OR THE ARCHITECT. THE MAIN BUILDING PERMIT FEE WILL BE PAID DIRECTLY BY THE OWNER.
- ALL CONTRACTORS SHALL CO-ORDINATE AND CO-OPERATE WITH EACH OTHER ALLOW ACCESS FOR ANY OWNERS WORK.
- PROTECT ALL WORK FROM DAMAGE. KEEP ALL MATERIALS SECURE. ERECT ALL HOARDING, FENCINGS, BARRIERS AND SIGNAGE AS REQUIRED.
- WORKMANSHIP SHALL BE TO THE BEST STANDARD FOR EACH RESPECTIVE TRADE. ERECT ALL WORK ACCURATELY SQUARE, SECURE, PLUMB, STRAIGHT, TRUE AND TO ACCEPTED TOLERANCES. PROVIDE AND COMPLY WITH MANUFACTURERS PRINTED INSTRUCTIONS. CARRY ON WORK ONLY IN WEATHER, TEMPERATURE OR ENVIRONMENTAL CONDITIONS ACCEPTABLE TO INDUSTRY STANDARDS. MAINTAIN GOOD ALL WEATHER CONDITIONS AS REQUIRED FOR A COMPLETE JOB. CLEAN ALL WORK AND WORK AREAS ON AN ONGOING BASIS.
- CO-ORDINATE WITH THE PROJECT MANAGER FOR PHASES OF THE WORK AND OVERALL CONSTRUCTION SCHEDULE.
- CONTRACTORS SHALL ARRANGE FOR & PAY FOR ALL NECESSARY TEMPORARY SERVICES AND FACILITIES. CONSULT WITH THE PROJECT MANAGER ON THESE.

2. INSULATION

- INSULATE WHERE INDICATED ON OR REASONABLY INFERRABLE FROM THE DRAWINGS AS NECESSARY FOR A COMPLETE JOB INCLUDING BUT NOT NECESSARILY LIMITED TO THE FOLLOWING LOCATIONS:
FOUNDATIONS - SET BACKS BY DOWN CHEMICAL OF CANADA LTD.
2. THERMAL INSULATION WHERE REQUIRED
G.I. AND TYPE 1 BATT OF BLANKETS, INORGANIC GLASS OR MINERAL FIBRE BY ROCKWELL INC. OR THERMAC BATT BY OWENS CORNING FIBREGLASS INSULATION
3. FIRE RATED ACoustical INSULATION - N/A
ROOF - SEE 7.1 ABOVE
4. DIV. 15 ITEMS (SEE MECHANICAL DRAWINGS AND SPECIFICATIONS).

3. FIRESTOPPING - N/A

4. CAULKING AND SEALING

- CALLS AND SEAL TO ENSURE A COMPLETE WEATHER AND WATER TIGHT PROJECT. INCLUDES AROUND ALL EXTERIOR DOORS AND WINDOW FRAMES, LOBBIES, VENTS, THRESHOLDS, ETC. AND BETWEEN DIFFERENT EXTERIOR MATERIALS, PACK SPACES DEEPER THAN 3" (76MM) AND WIDER THAN 8" (203MM) WITH GOSD-CELL POLYETHYLENE ROD FILLER. FIRE STOP AS PER SPECIFICATIONS ABOVE.
- PRODUCTS:
1. EXTERIOR SEALANT: TWO PART POLYURETHANE THERMOFLEX EQUAL TO DYMERIC BY TREMCO CANADA LTD. OR DOW CORNING 790 SILICONE BUILDING SEALANT
2. WASH-ROOM SEALANT: N/A
3. INTERIOR SEALANTS EQUAL TO ACRYLIC LATEX CAULK BY TREMCO CANADA LTD.
4. BEDDING MATERIAL: ETHARGAM GLOSD-CELL POLYETHYLENE ROPE. SIZED TO ALLOW 25% (76MM) COMPRESSION WHEN INSERTED IN JOINT.
5. FINISHES AS RECOMMENDED BY THE SEALANTS MANUFACTURERS.
6. COLOURS TO MATCH ADJACENT MATERIALS AND TO ARCHITECTS APPROVAL.

8. DOORS AND WINDOWS

- SUBMIT SHOP DRAWINGS & SCHEDULES OF ALL ITEMS HEREIN FOR ARCHITECTS REVIEW.
- SUPPLY AND INSTALL ALL PRESURE STEEL FRAMES AND HOLLOW METAL DOORS AS SHOWN ON THE DRAWINGS.
- PRESURE STEEL FRAMES TO BE 8 GA. BATH-COATED GALVANIZED STEEL. AIDS READY FOR PAINT.
- HOLLOW METAL DOORS TO BE 20 GA. BATH-COATED GALVANIZED STEEL. AIDS READY FOR PAINT.
- ALL EXTERIOR FRAMES & DOORS TO BE INSULATED.
- PROVIDE 5-YEAR WARRANTY FOR ALL SEALED GLASS UNITS AGAINST FAILURE OF SEAL AND/OR DEPOSITS ON INNER FACE (INTERNAL TO VISION).
- ALUM. WINDOW STANDARDS OF ACCEPTANCE
UNIVERSITY OF TORONTO (U.T.) BUILT UP GLAZING UNITS. LOWE, ON 3RD SURFACE ARSON FUELED. ALL FINISHES TO BE CLEAR ANODIZED. ALL WORK COMPLETED WITH REQUISITE NON-CORROSIVE FASTENERS, BRACKETS, TRIM-CALLINGS, LUGS, SPACERS, ETC.
- SUPPLY & INSTALL ALL HARDWARE AS PER THE GENERIC D.P.H. SCHEDULE. SUBMIT HARDWARE SCHEDULE FOR ARCHITECTS REVIEW. PROVIDE KEY SYSTEMS AS REQUIRED BY THE OWNER.
- OVERHEAD DOORS - SUPPLY & INSTALL SECTIONAL OVERHEAD DOORS AS SHOWN FOR A COMPLETE JOB. INCLUDE SUPPLY AND INSTALLATION OF ALL STEEL PLATES, BLOCKS, ETC. REQUIRED FOR MOUNTING.
- OVERHEAD DOORS STANDARD OF ACCEPTANCE
THERMALEX 2000 BY OVERHEAD TRACO. VERTICAL LIFT WITH THERMAL WINDOW MODEL R225. WHITE FRAME. INSULATED. PREP. ICE WHITE. BASED ON POLYESTER ENAMEL FINISH ON 20 GA. GALV. STEEL. JACK SHARP OPERATOR. 2" HEAVY DUTY HARDWARE. CONTINUOUS ANGLE DOUBLE ENDED HINGERS. 100,000 CYCLE SPRING. PRECISION BEARING. 1" BOLD SHARP ALUM. VINYL WEATHERSTRIPPING. PNEUMATIC SAFETY DEVICE. THUMBHEAT PHOTO CELL. ELECTRICAL OPERATOR PRO. 1/2 HP. SPEED VARY. SEE D.P.H. SCHEDULE. U VALUE = 0.4.

9. FINISHES - N/A

10. SPECIALTIES - N/A

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

Registered Owner:
M CON PRODUCTS INC.
2150 RICHARDSON SIDE ROAD
OTTAWA, ONTARIO, K0A 1L0
Tel: (613) 831-1736 ext. 1.262
Fax: (613) 831-2048
e-mail: john.mion@mconproducts.com

Project Manager:
ARGUE CONSTRUCTION LTD.
105 WILLOWLEA RD.
CARP, ON, K0A 1L0
Tel: (613) 831-7044
Fax: (613) 831-6344
e-mail: keith@argueconstruction.ca

Structural Engineer:
D&S DESIGN & SYSTEMS
2378 HOLLY LANE
OTTAWA, ONTARIO, K1V 7P1
Tel: (613) 739-7482
Fax: (613) 739-0617
e-mail: gerald.bowman@gmail.com

Mechanical/Electrical Engineer:
M & E ENGINEERING
205 KINCARDINE DRIVE
OTTAWA, ONTARIO, K2V 1C5
Tel: (613) 836-2184
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0 ISSUED FOR TENDER 04 MAY 2017

0 ISSUED FOR PERMIT 23 MAR 2017

no. revision date



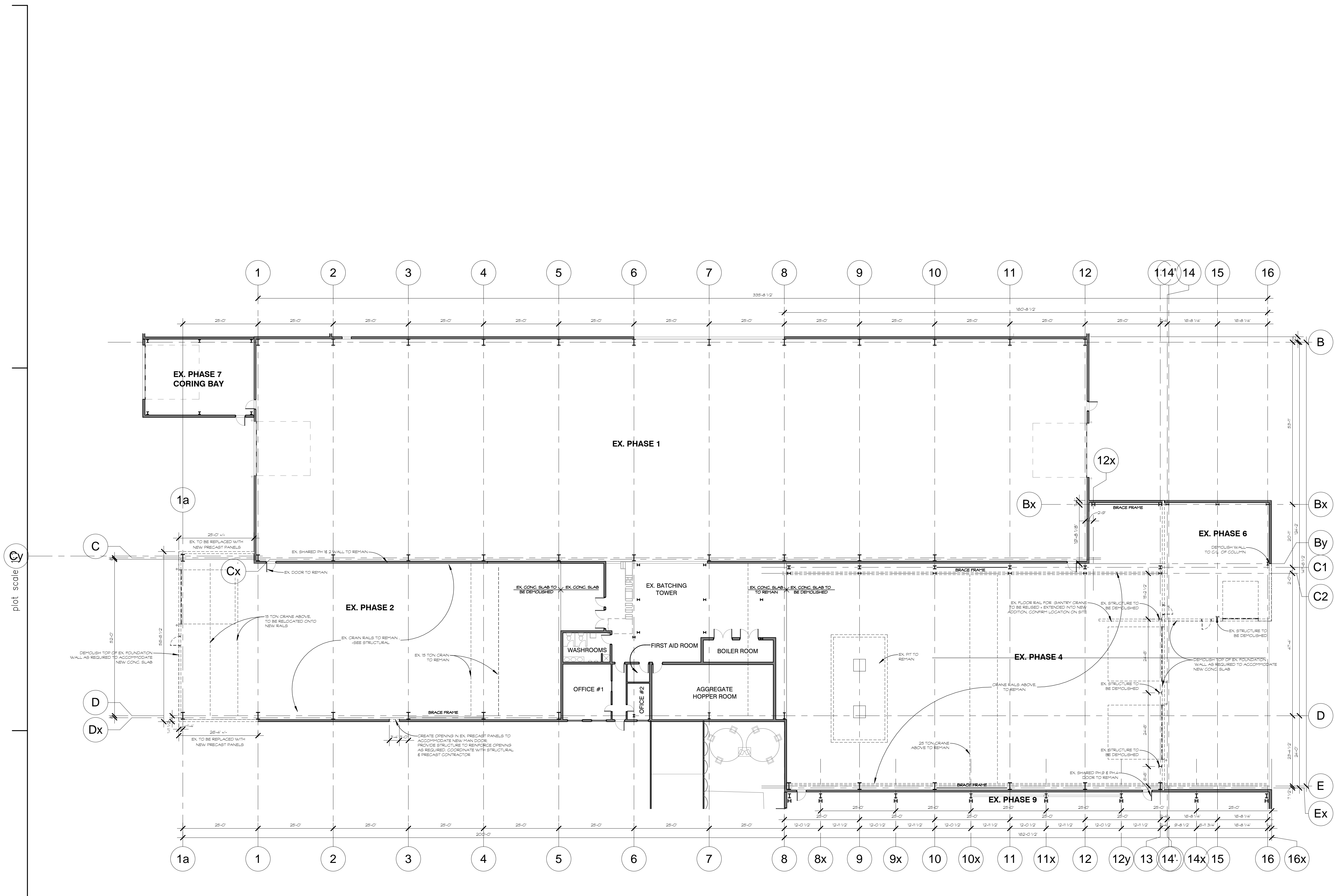
383 Parkdale Avenue, Suite 201
Ottawa Ontario Canada K1Y 4R4
KWC ARCHITECTS INC.
PHONE (613) 238-2117
FAX (613) 238-6595
E MAIL kwc@kwc-arch.com

detail no. 1 detail no.
sheet no. A1 feuille no.

project project
designed by approved by
down by project no. du projet
date 23 MARCH 2017 scale as noted
drawing / dessin

LOCATION PLAN, LIST OF CONTRACT DOCUMENTS, SPECIFICATIONS, OBC (2012) MATRIX

revision revision sheet no. no. de feuille **A000**



1
A001 EX. PHASE 4 & PHASE 2 DEMOLITION PLAN
SCALE 1/16" = 1'-0"

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

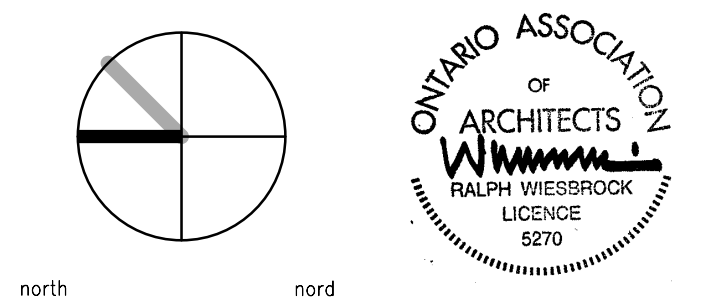
GENERAL LEGEND

- A.F.F. - ABOVE FINISHED FLOOR
- BF - BARRIER FREE
- B/S - BOTH SIDES
- CJ - CONTROL JOINT
- C/W - COMPLETE WITH
- D/F/H - DOOR/FRAME/HARDWARE
- E.Q. - EQUAL
- EX - EXISTING
- FR.R. - FIRE RESISTANCE RATING
- N.I.C. - NOT IN CONTRACT
- N.T.S. - NOT TO SCALE
- O/C - ON CENTRES
- O/H - OVERHEAD
- PTD - PAINTED
- PT - PRESURE TREATED
- U/C - UNDER COUNTER
- U/N - UNLESS NOTED OTHERWISE
- U/S - UNDERSIDE
- WR - WATER RESISTANT

PROJECT SPECIFIC

- ALUM - ALUMINUM
- CONC - CONCRETE
- CL - CLEAR ANODIZED
- ANOD - ANOD
- FD - FLOOR DRAIN
- GWB - GYPSUM WALL BOARD
- HM - HOLLOW METAL
- PSF - PRESSED STEEL FRAME
- RD - ROOF DRAIN
- ST.ST. - STEEL STUDS

0	ISSUED FOR TENDER	04 MAY 2017
0	ISSUED FOR PERMIT	23 MAR 2017
no.	revision	date



kwc 383 Parkdale Avenue, Suite 201
Ottawa Ontario Canada K1Y 4R4

KWC ARCHITECTS INC.

PHONE (613) 238-2117
FAX (613) 238-6595
E MAIL kwc@kwc-arch.com

detail no.	1	detail no.
sheet no.	A1	feuille no.

project project

M-CON PHASE 2 & 4 EXTENSIONS

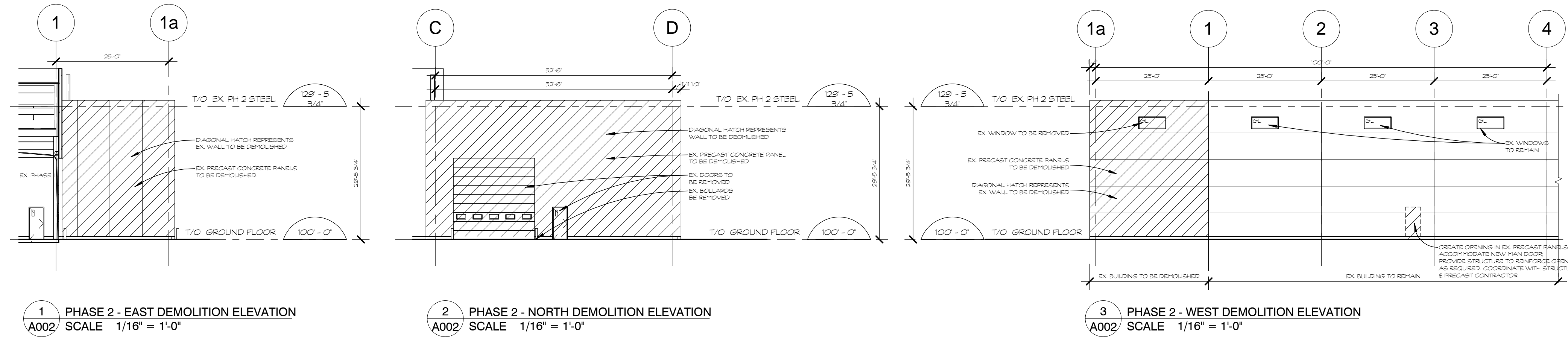
2640 CARP RD.
OTTAWA, ON
K0A 1L0

designed by conçu par	approved by approuvé par
drawn by dessiné par	A.H. project no. no. du projet 1712
date	23 MARCH 2017 scale as noted

drawing / dessin

PHASE 2/4 DEMOLITION PLAN

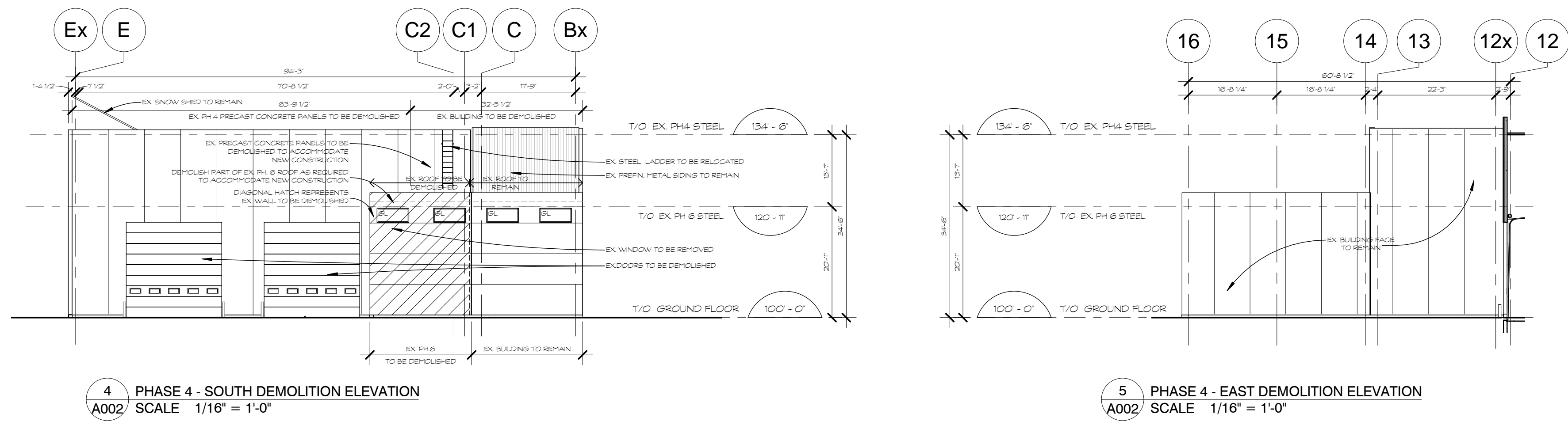
plot scale 1:1



1 PHASE 2 - EAST DEMOLITION ELEVATION
A002 SCALE 1/16" = 1'-0"

2 PHASE 2 - NORTH DEMOLITION ELEVATION
A002 SCALE 1/16" = 1'-0"

3 PHASE 2 - WEST DEMOLITION ELEVATION
A002 SCALE 1/16" = 1'-0"



4 PHASE 4 - SOUTH DEMOLITION ELEVATION
A002 SCALE 1/16" = 1'-0"

5 PHASE 4 - EAST DEMOLITION ELEVATION
A002 SCALE 1/16" = 1'-0"

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

GENERAL LEGEND

- A.F.F. - ABOVE FINISHED FLOOR
 - BF - BARRIER FREE
 - B/S - BOTH SIDES
 - CJ - CONTROL JOINT
 - CAV - COMPLETE WITH
 - D/F/H - DOOR/FRAME/HARDWARE
 - EQ - EQUAL
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 - N.I.C. - NOT IN CONTRACT
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 - U/C - UNDER COUNTER
 - U/N - UNLESS NOTED
 - U/S - UNDERSIDE
 - WR - WATER RESISTANT
- PROJECT SPECIFIC**
- ALUM - ALUMINIUM
 - CONC - CONCRETE
 - CL - CLEAR ANODIZED
 - ANOD - ANODIZED
 - FD - FLOOR DRAIN
 - FD - FLOOR DRAIN
 - GWB - GYPSUM WALL BOARD
 - HM - HOLLOW METAL
 - PSF - PRESSED STEEL FRAME
 - RD - ROOF DRAIN
 - ST.ST. - STEEL STUDS

0	ISSUED FOR TENDER	04 MAY 2017
0	ISSUED FOR PERMIT	23 MAR 2017
no.	revision	date

north nord

383 Parkdale Avenue, Suite 201
Ottawa Ontario Canada K1Y 4R4

KWC ARCHITECTS INC.

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detail no.	1	detail no.
sheet no.	A1	feuille no.

project
projet

M-CON PHASE 2 & 4 EXTENSIONS

2640 CARP RD.
OTTAWA, ON
K0A 1L0

designed by conçu par	approved by approuvé par	project no. no. du projet
drawn by dessiné par	A.H.	1712
date	23 MARCH 2017	scale as noted

drawing / dessin

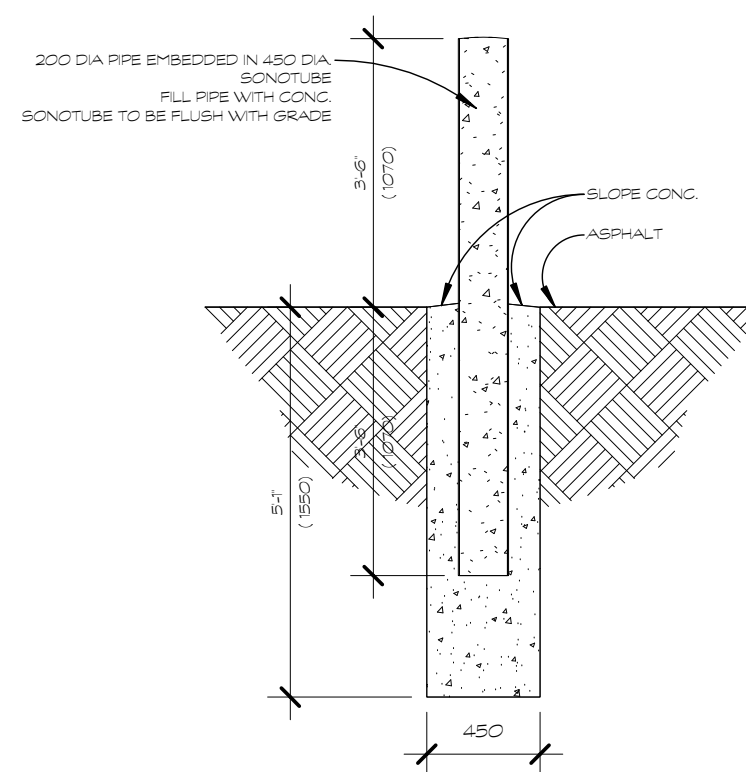
EX. PHASE 2 & 4 DEMOLITION ELEVATIONS



LEGAL DESCRIPTION:
PART OF THE NORTH HALF OF LOT 5
CONCESSION 2 (RIDEAU FRONT)
 TOWNSHIP OF HUNTLEY
CITY OF OTTAWA

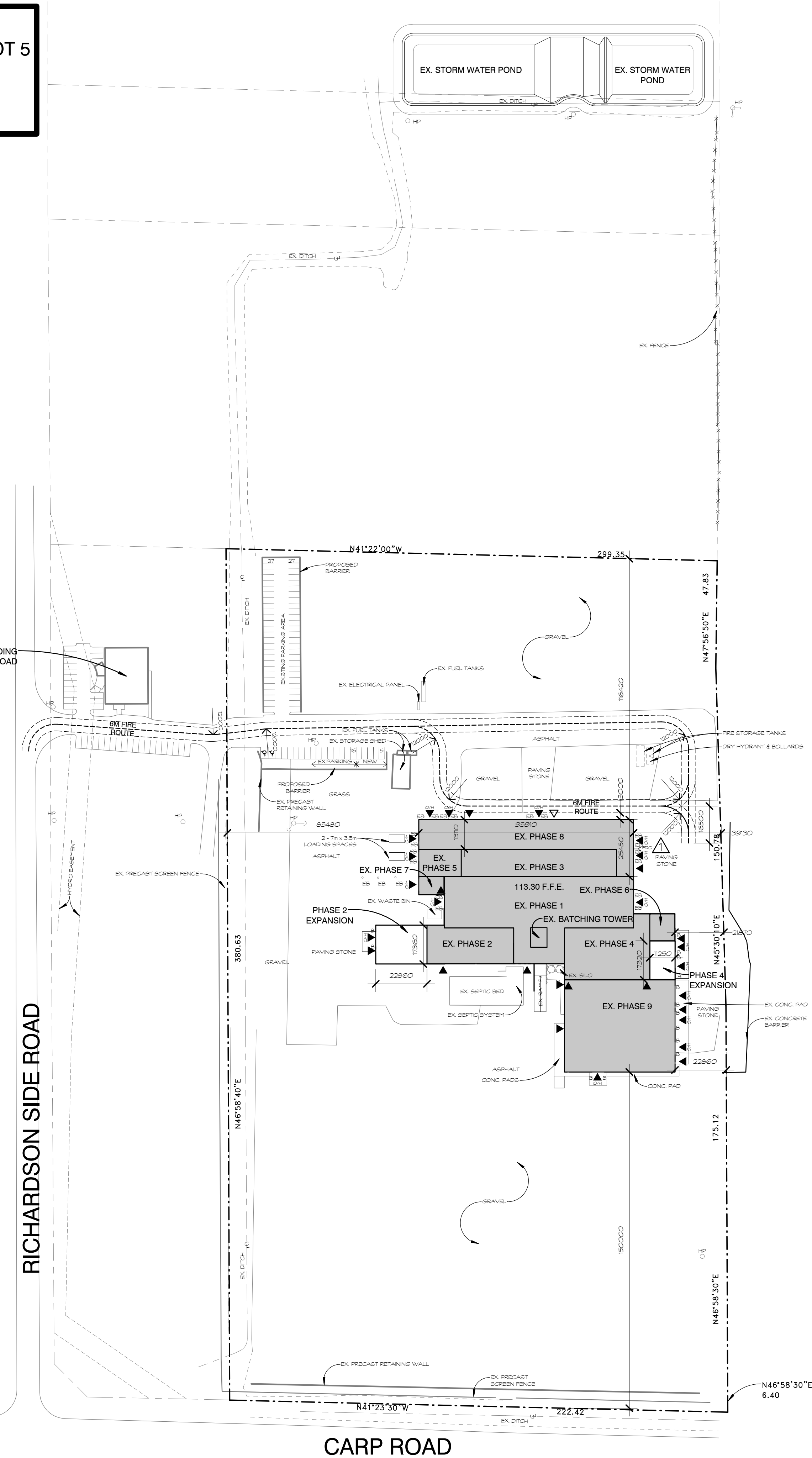
2 LOCATION PLAN
 A100 SCALE N.T.S

plot scale 1:1



BOLLARD DETAIL SITE PLAN
 SCALE N.T.S

1 SITE PLAN
 A100 SCALE 1:1200



- LEGEND:**
- EB = EXISTING BOLLARD
 - B = BOLLARD
 - HP = HYDRO POLE
 - LF = LIGHT FIXTURE - EXTERIOR, WALL MOUNTED
 - LS = LIGHT STANDARD
 - △ = PRINCIPAL ENTRANCE
 - ▲ = EXIT DOOR
 - ▲ = OVERHEAD DOOR
 - = BARRIER-FREE PARKING SPACE C/W PAINTED LOGO & SIGN
 - ⊗ = SECURITY FENCING AND GATE
 - ⊕ = GAS METER
 - EPDC = EXISTING FIRE DEPARTMENT CONNECTION
 - ⚡ = FIRE DEPARTMENT CONNECTION

Registered Owner:
M CON PRODUCTS INC.
 2150 RICHARDSON SIDE ROAD
 OTTAWA, ONTARIO, K0A 1L0
 Tel: (613) 831-1736 ext. 262
 Fax: (613) 831-2048
 e-mail: john.mcon@mconproducts.com

Project Manager:
ARGUE CONSTRUCTION LTD.
 105 WILLOWLEA RD.
 CARP, ON, K0A 1L0
 Tel: (613) 831-7044
 Fax: (613) 831-6344
 e-mail: keith@argueconstruction.ca

Geotechnical Engineer:
HOULE CHEVRIER ENGINEERING LTD.
 180 WESCAR LANE
 OTTAWA, ONTARIO, K0A 1L0
 Tel: (613) 836-1422
 Fax: (613) 836-9731
 e-mail: lashe@hceeng.ca

Surveyor:
FAIRHALL, MOFFATT & WOODLAND LIMITED
 235 TERENCE MATTHEWS CRESCENT
 OTTAWA, ONTARIO K2M 2B3
 Tel: (613) 591-2580
 Fax: (613) 591-1495
 e-mail:

Project Zoning Review/Statistics

Municipality: City of Ottawa
 Municipal Address: 2460 Carp Rd.
 Registered Owner: MCON Products Inc
 Lot Area: Site Area: 84,000sq.m. (904,198 sq.ft (20.75 acres))

Zoning Analysis
 Ottawa
 Zoning By-law: 2008-250
 Zone: RH5
 Proposed Use: Precast Concrete Plant

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
Existing Building Areas		
Ground Floor	8,563	92,171
Mezzanine	133	1,435
Total	8,696	93,606
Proposed Addition		
Ground Floor - Phase 2	395	4,256
Ground Floor - Phase 4	186	1,997
Total (Final)	9,277	99,859
Net Additional Floor Area	581 (+6%)	6,253

Zoning Note: "Site Plan Control Approval" not required: By-Law 2014-256 as amended by 2015-142, Article 5.(2)(d).b. and v. - addition not exceeding 30% of existing gross floor area, to a maximum of 600 sq.m., and 5.(4), "up to nine parking spaces, provided the total number of parking spaces on the lot does not exceed the minimum number of parking spaces required by the Zoning By-Law..." (5 new spaces provided)

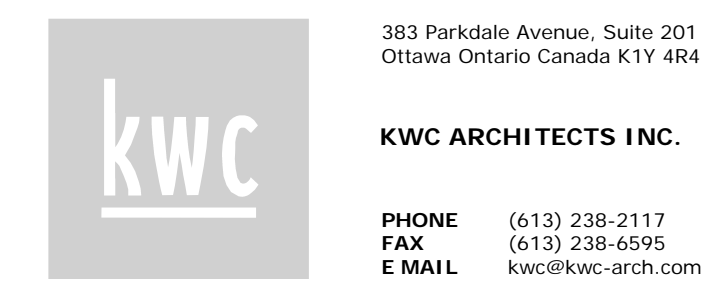
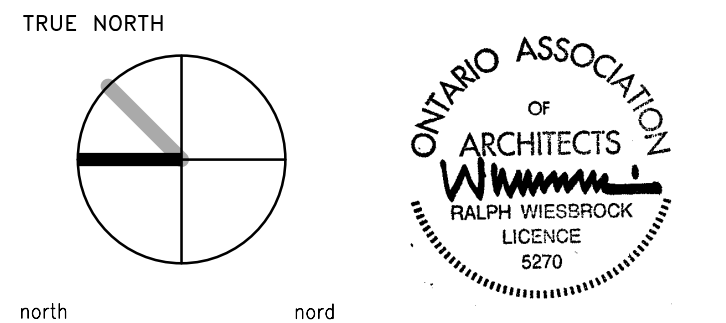
Development Standards	Required	Provided
Minimum Lot Area	8,000 sq.m.	84,000 sq.m.
Minimum Lot Width	50.0m	219.21m
Minimum Required Yard		
Front Yard (West - Carp Rd.)	15.0m	150.0m
Int. Side Yard (North)	3.0m	85.48m
Int. Side Yard (South)	3.0m	21.83m
Rear Yard (East)	15.0m	12.88m
Maximum Building Height	15.0m	12.88m
Minimum Width of Landscaping		
Abutting a Street	3m	Existing
Around a parking lot	nil	Existing
Parking Spaces		
Gr. Fl. Warehousing @ 0.8/100 sq.m.	75	75
		(70 existing)
Loading Spaces (3.5m x 7m)		
	2	2
Parking for Physically Disabled		
	1	2

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

- GENERAL LEGEND**
- A.F.F. - ABOVE FINISHED FLOOR
 - BF - BARRIER FREE
 - B/S - BOTH SIDES
 - CJ - CONTROL JOINT
 - C/W - COMPLETE WITH
 - D/F/H - DOOR/FRAME/HARDWARE
 - EQ - EQUAL
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 - PT - PRESSURE TREATED
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 - U/N - UNLESS NOTED
 - OTHERWISE
 - U/S - UNDERSIDE
 - WR - WATER RESISTANT
- PROJECT SPECIFIC**
- ALUM - ALUMINUM
 - CONC - CONCRETE
 - CL - CLEAR ANODIZED
 - ANOD
 - FD - FLOOR DRAIN
 - GW - GYPSUM WALL BOARD
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 - RD - ROOF DRAIN
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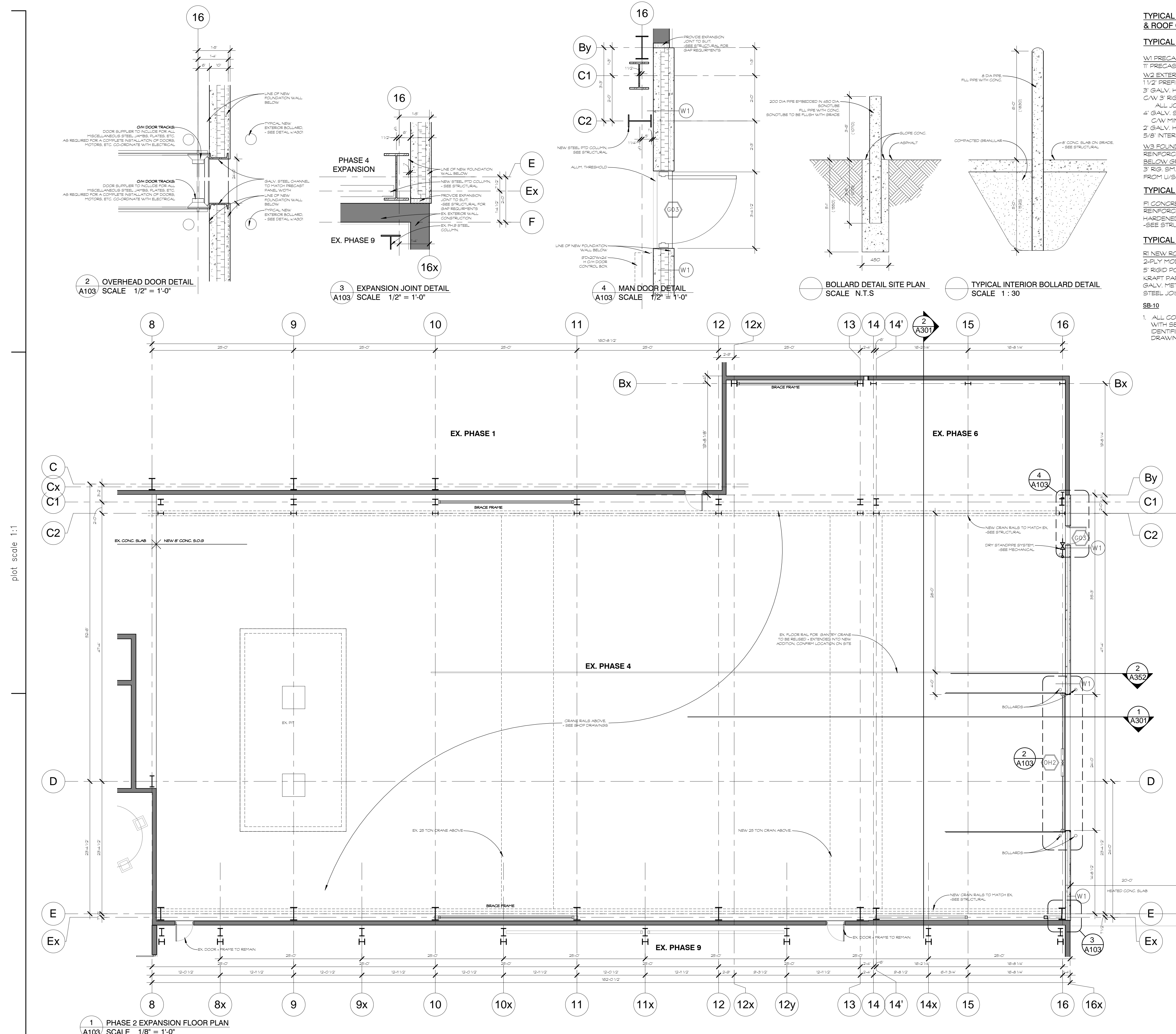
detail no. 1 detail no.
 sheet no. A1 feuille no.

project project

M-CON PHASE 2 & 4 EXTENSIONS
 2640 CARP RD.
 OTTAWA, ON
 K0A 1L0

designed by: [signature] approved by: [signature]
 drawn by: B.R./A.H. project no.: 1712
 date: 23 MARCH 2017 scale: as noted
 drawing / dessin

SITE PLAN



TYPICAL WALL, PARTITION, FLOOR & ROOF CONSTRUCTIONS

TYPICAL EXTERIOR WALL CONSTRUCTIONS

- W1 PRECAST CONCRETE SANDWICH PANEL WALL (11)
- 1" PRECAST CONCRETE SLAB C/W INSULATED CORE (R22.8)
- W2 EXTERIOR WALL W/SIDING (11 1/2')
- 1 1/2" PREFIN. METAL SIDING PANELS ON
- 3" GALV. HORIZONTAL Z-BAR FURRING
- C/W 3" RIGID INSULATION SHEATHING (R10)
- ALL JOINTS, PERIMETER & PENETRATIONS TAPED & SEALED ON
- 4" GALV. ST. ST. FRAMING @ 16" O/C
- C/W MIN. 4" MINERAL WOOL INSULATION (R15) ON
- 2" GALV. HORIZONTAL Z-BAR FURRING ON
- 5/8" INTERIOR PREFIN. METAL LINER PANEL & VAPOUR BARRIER

TYPICAL FLOOR CONSTRUCTIONS

- F1 CONCRETE SLAB
- REINFORCED POURED CONCRETE SLAB ON GRADE
- HARDENED
- SEE STRUCTURAL

TYPICAL ROOF CONSTRUCTIONS

- R1 NEW ROOF (7)
- 2-PLY MOD. BIT ROOFING SYSTEM ON
- 5" RIGID POLYISOCYANURATE ROOFING INSULATION ON
- KRAFT PAPER VAPOUR RETARDER ON
- GALV. METAL DECK ON
- STEEL JOISTS - SEE STRUCTURAL

SB-10
 1. ALL CONTRACTORS SHALL READ AND COMPLY WITH SB-10 PROJECT INFORMATION DETAILED FORMS IDENTIFIED IN THE LIST OF CONTRACT DOCUMENTS ON DRAWING A0

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

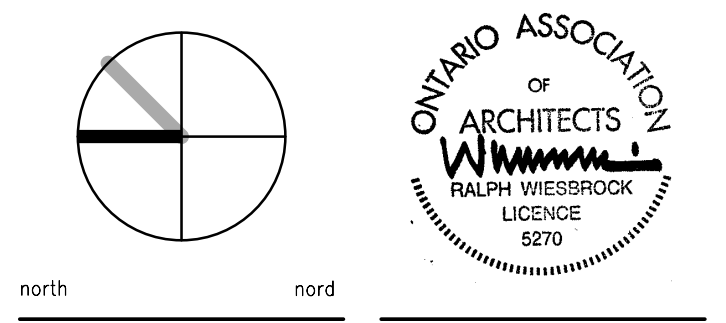
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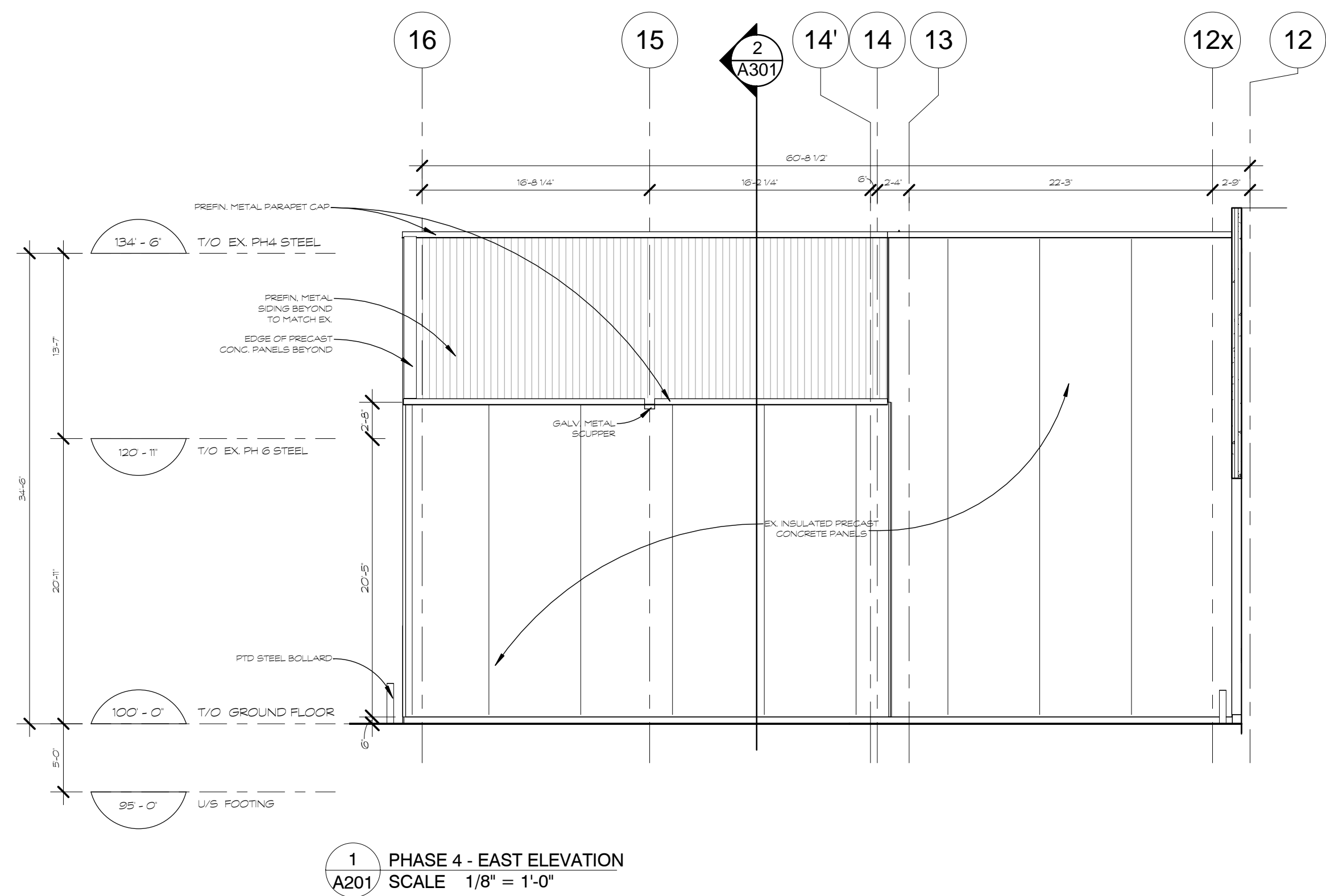
M-CON PHASE 2 & 4 EXTENSIONS
 2640 CARP RD.
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 K0A 1L0

designed by	colin par	approved by	approval par
drawn by	desainé par	project no.	no. du projet
date	23 MARCH 2017	scale	as noted

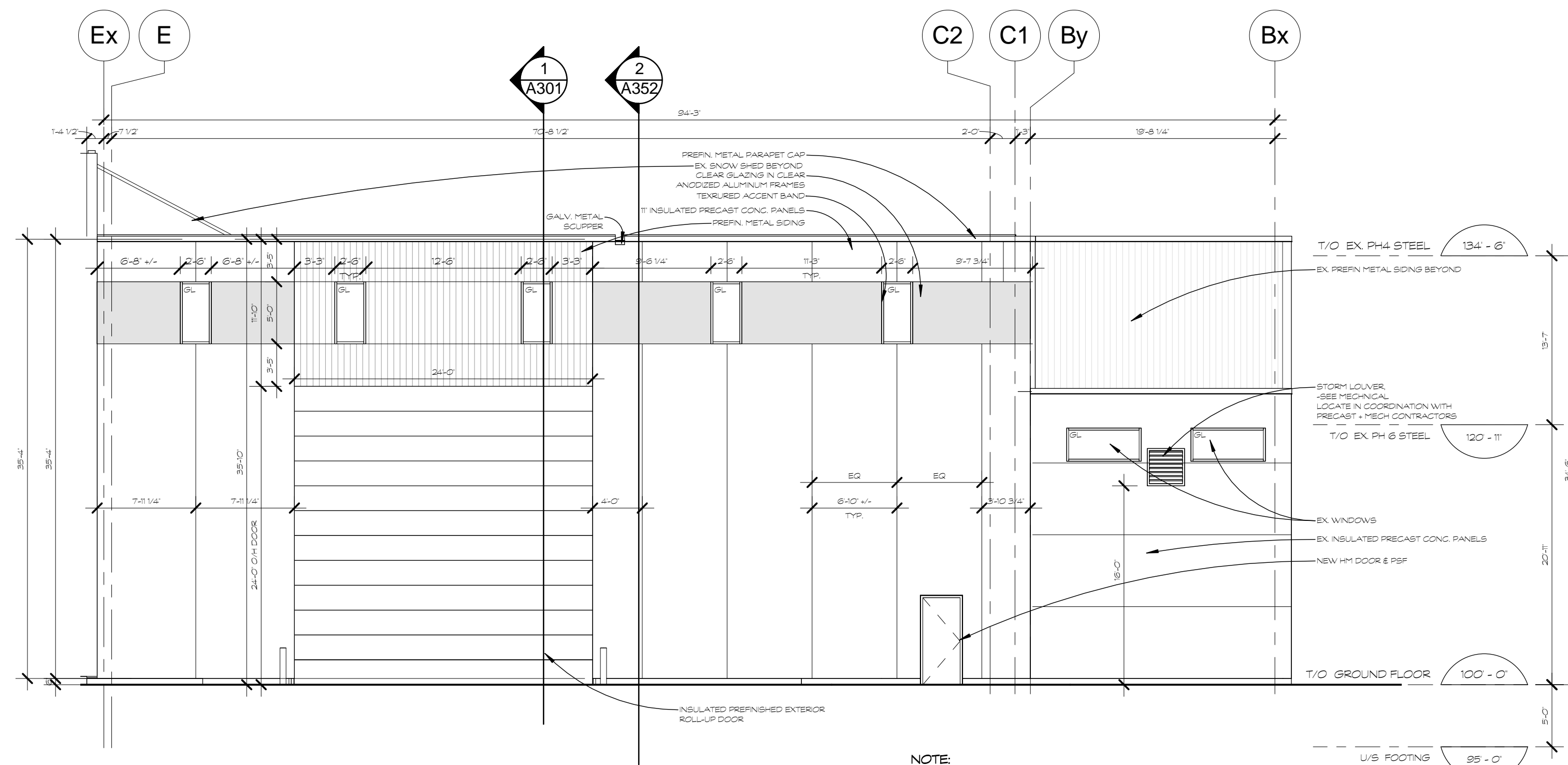
PHASE 4 EXPANSION FLOOR PLAN

revision / révision sheet no. / no. de feuille **A103**

plot scale 1:1



1 PHASE 4 - EAST ELEVATION
A201 SCALE 1/8" = 1'-0"



2 PHASE 4 - SOUTH ELEVATION
A201 SCALE 1/8" = 1'-0"

NOTE:
 100% UNPROTECTED OPENINGS ALLOWED AS PER OBC 3.2.3.1.
 -BUILDING CLASSIFICATION COMPLIES WITH 3.2.2.62 (GROUP F3, LOW FIRE LOAD OCCUPANCY)
 -EXTERIOR WALLS ARE NON-LOADBEARING
 -LIMITING DISTANCE IS GREATER THAN 3M (22.83M TO SOUTH PROPERTY LINE)

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

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M-CON PHASE 2 & 4 EXTENSIONS

2640 CARP RD.
OTTAWA, ON
K0A 1L0

designed by / conçu par approved by / approuvé par

drawn by / dessiné par A.H. project no. / no. du projet 1712

date 23 MARCH 2017 scale as noted

drawing / dessin

PHASE 4 CONSTRUCTION ELEVATIONS

revision / révision sheet no. / no. de feuille **A201**

NOTES:

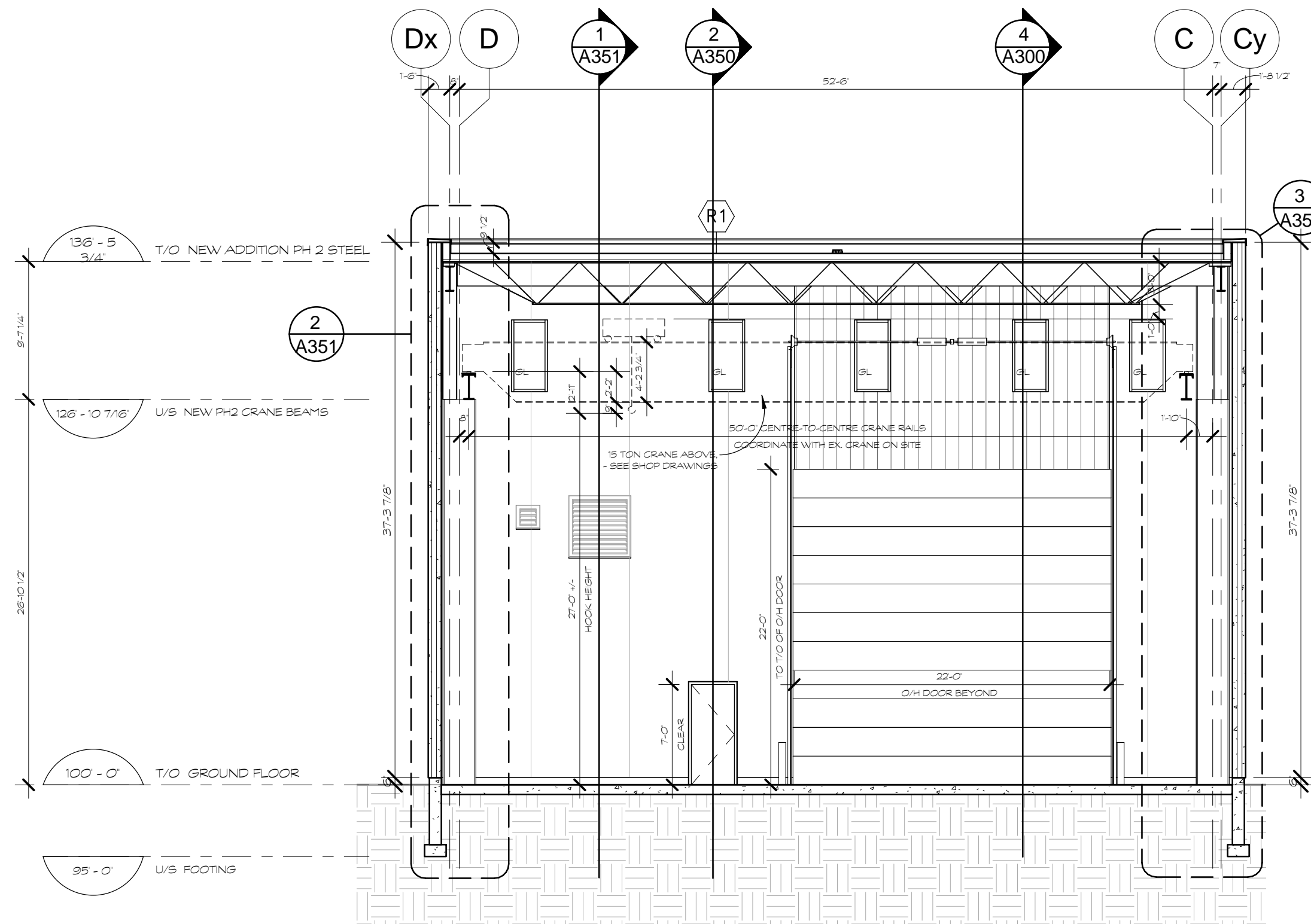
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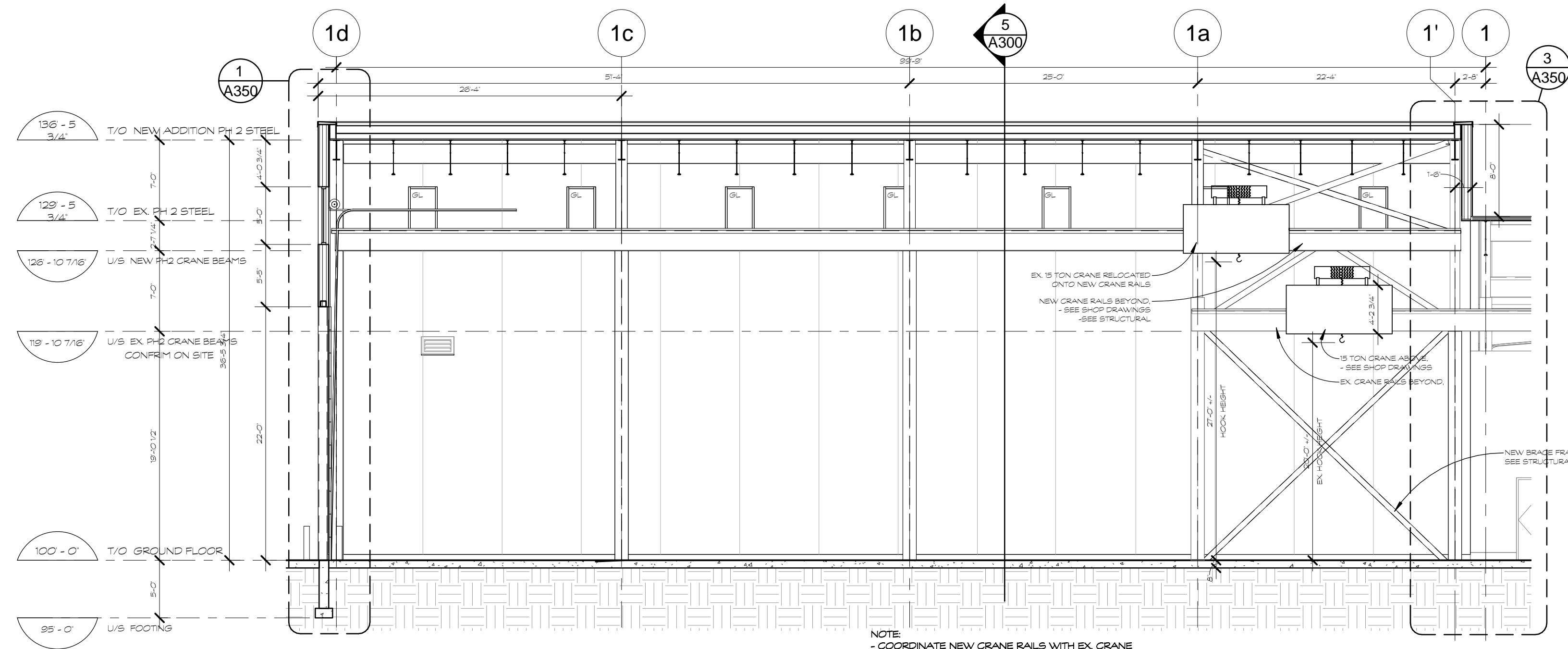
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5 PHASE 2 - BUILDING SECTION
A300 SCALE 1/8" = 1'-0"



4 PHASE 2 - BUILDING SECTION
A300 SCALE 1/8" = 1'-0"

TYPICAL WALL, PARTITION, FLOOR & ROOF CONSTRUCTIONS

TYPICAL EXTERIOR WALL CONSTRUCTIONS

- W1 PRECAST CONCRETE SANDWICH PANEL WALL (T)
- T1 PRECAST CONCRETE SLAB CAV INSULATED CORE (R22.8)
- W2 EXTERIOR WALL W/ SIDING (T 1/8)
- T1/2 PREFIN METAL SIDING PANELS ON
- 3' GALV. HORIZONTAL Z-BAR FURRING
- CAV 3" RIGID INSULATION SHEATHING (R10)
- ALL JOINTS, PERIMETER & PENETRATIONS TAPED & SEALED ON
- 4' GALV. ST.ST. FRAMING @ 16' O/C
- CAV MIN. 4" MINERAL WOOL INSULATION (R15) ON
- 2' GALV. HORIZONTAL Z-BAR FURRING ON
- 5/8" INTERIOR PREFIN METAL LINER PANEL & VAPOUR BARRIER

- W3 FOUNDATION WALLS
- REINFORCED CONCRETE AS PER STRUCTURAL DWGS.
- BELOW GRADE
- 3' RIG. 5M. INSULATION, ADHERED TO INTERIOR PERIMETER
- FROM U/S FLOOR SLAB TO 2'-0" BELOW FINISHED GRADE

TYPICAL FLOOR CONSTRUCTIONS

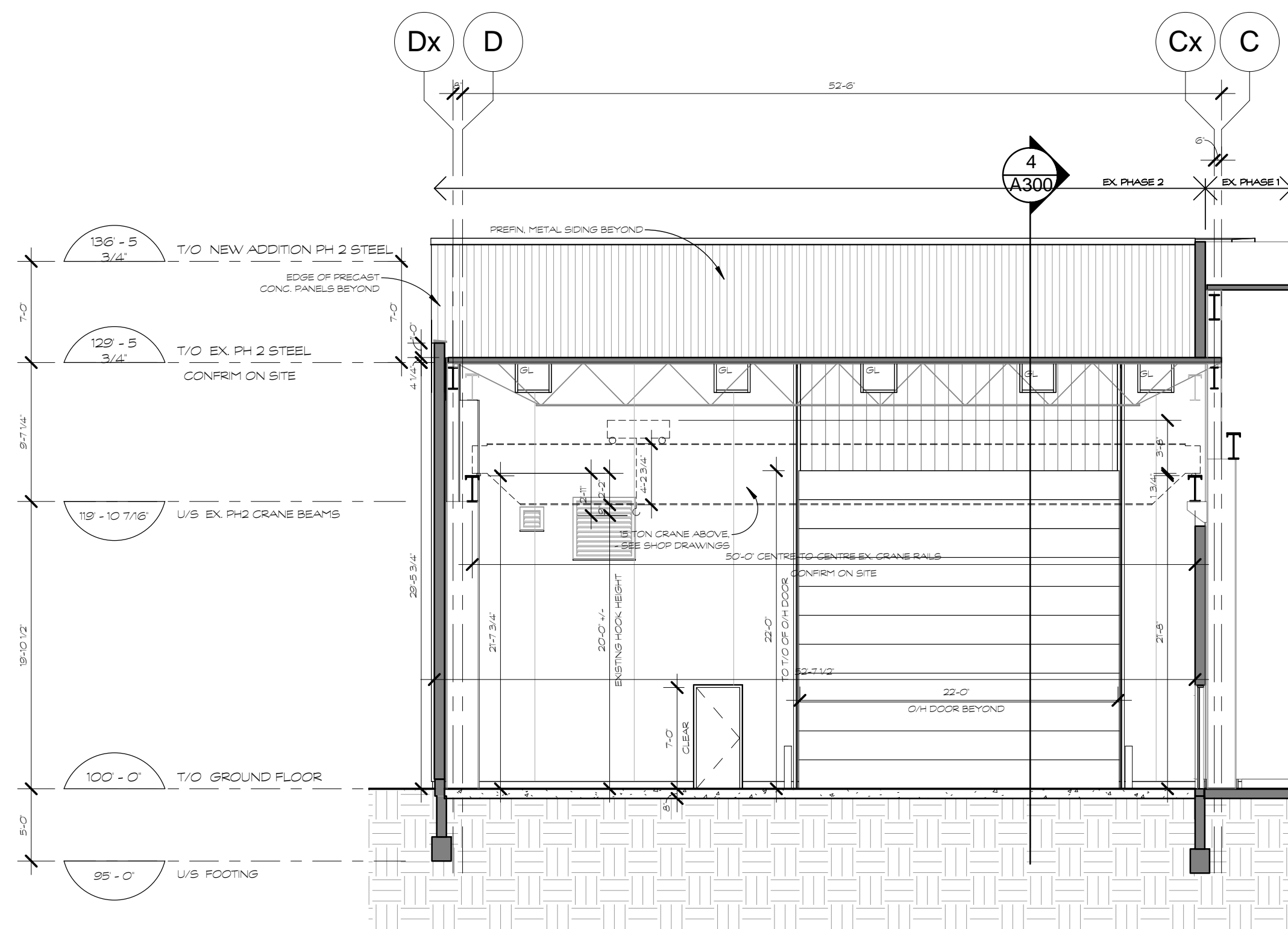
- F1 CONCRETE SLAB
- REINFORCED POURED CONCRETE SLAB ON GRADE.
- HARDENED
- SEE STRUCTURAL

TYPICAL ROOF CONSTRUCTIONS

- R1 NEW ROOF (T)
- 2-PLY MOD. BIT ROOFING SYSTEM ON
- 5' RIGID POLYISOCYANURATE ROOFING INSULATION ON
- KRAFT PAPER VAPOUR RETARDER ON
- GALV. METAL DECK ON
- STEEL JOISTS - SEE STRUCTURAL

SB-10

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3 PHASE 2 - BUILDING SECTION
A300 SCALE 1/8" = 1'-0"

plot scale 1:1

0 ISSUED FOR TENDER 04 MAY 2017

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M-CON PHASE 2 & 4 EXTENSIONS

2640 CARP RD.
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K0A 1L0

designed by approved by
coltje par approve par

drawn by project no.
desainé par A.H. no. du projet 1712

date 23 MARCH 2017 scale as noted

drawing / dessin

PHASE 2 BUILDING SECTIONS

revision sheet no. A300
révision no. de feuille

plot scale 1:1

TYPICAL WALL, PARTITION, FLOOR & ROOF CONSTRUCTIONS

TYPICAL EXTERIOR WALL CONSTRUCTIONS

- W1 PRECAST CONCRETE SANDWICH PANEL WALL (1)
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- W2 EXTERIOR WALL W/SIDING (1 1/8")
- 1 1/2" PREFIN. METAL SIDING PANELS ON
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TYPICAL ROOF CONSTRUCTIONS

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- STEEL JOISTS - SEE STRUCTURAL

- SB-10**
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NOTES:

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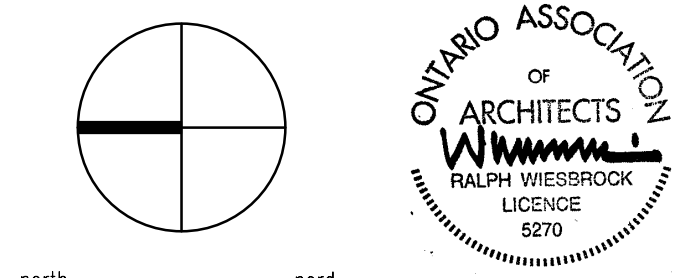
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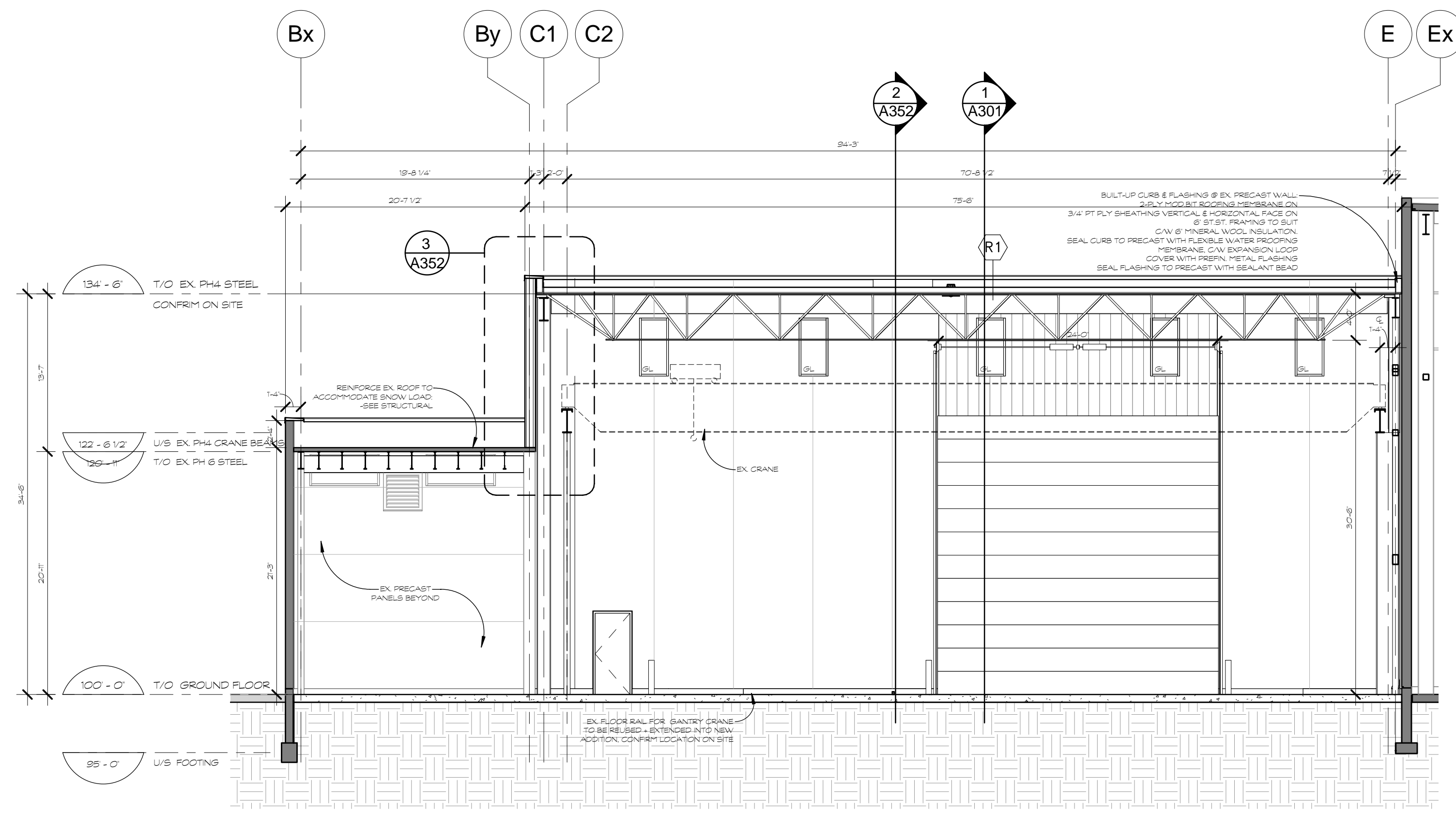
M-CON PHASE 2 & 4 EXTENSIONS

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designed by [signature] approved by [signature]
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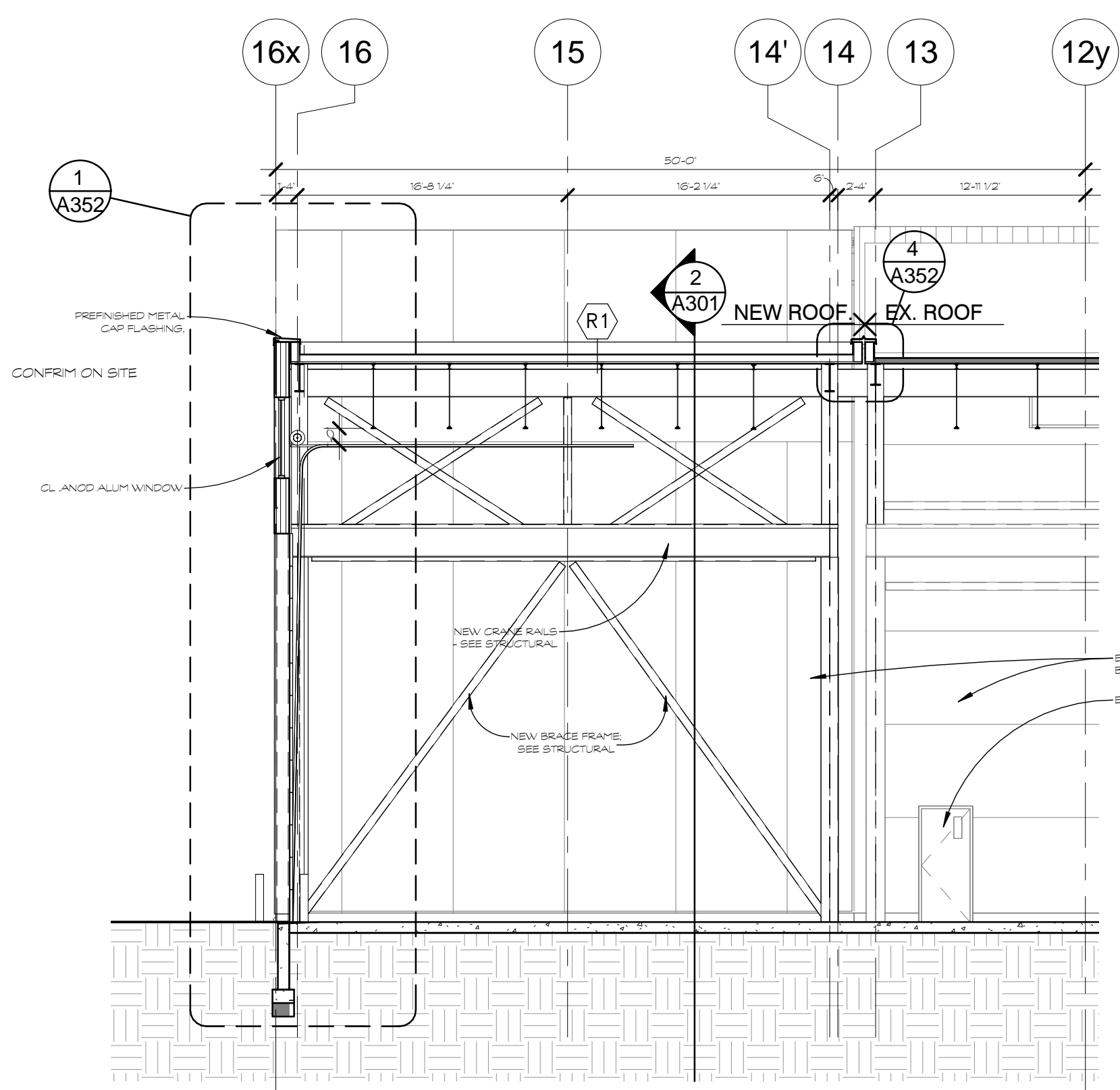
drawing / dessin

PHASE 4 BUILDING SECTIONS



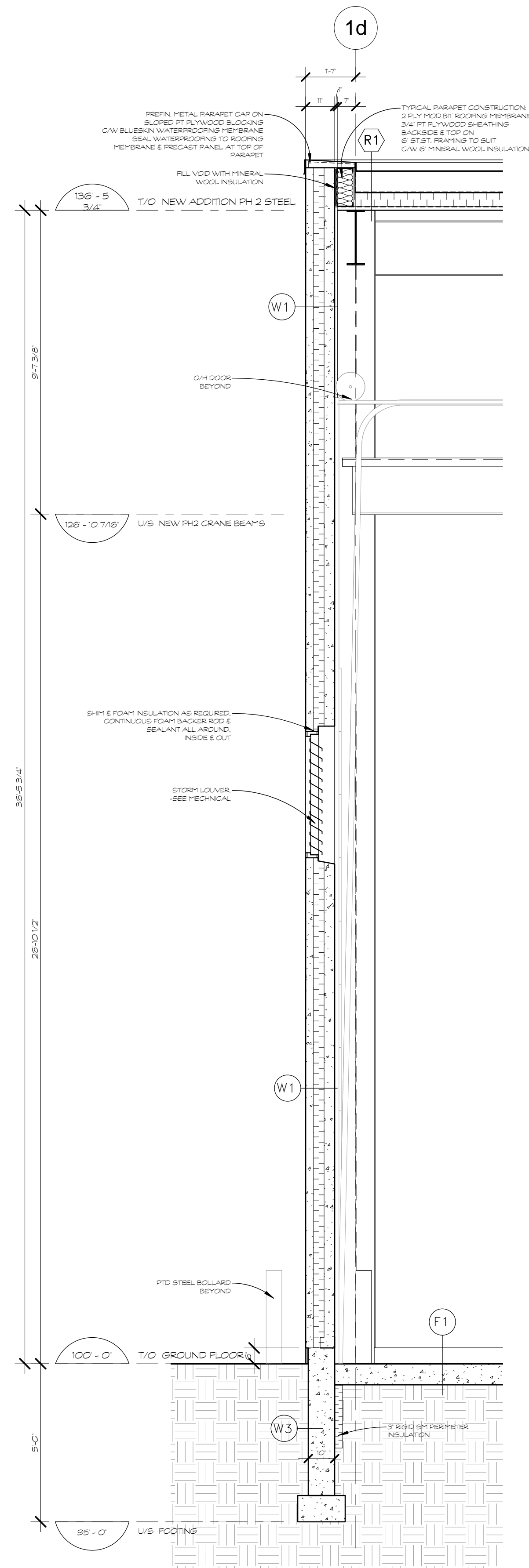
2 PHASE 4 - BUILDING SECTION
A301 SCALE 1/8" = 1'-0"

NOTE:
NEW CRANE RAILS DIMENSIONS TO MATCH EX COORDINATE ON SITE.

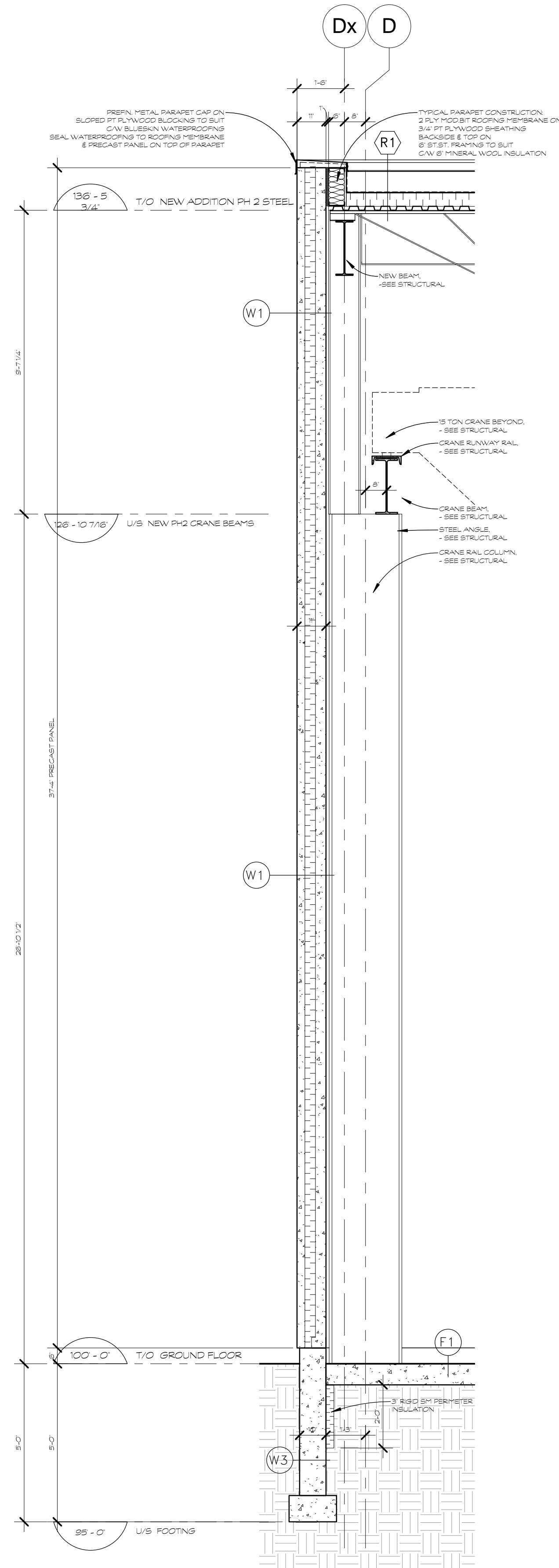


1 PHASE 4 - BUILDING SECTION
A301 SCALE 1/8" = 1'-0"

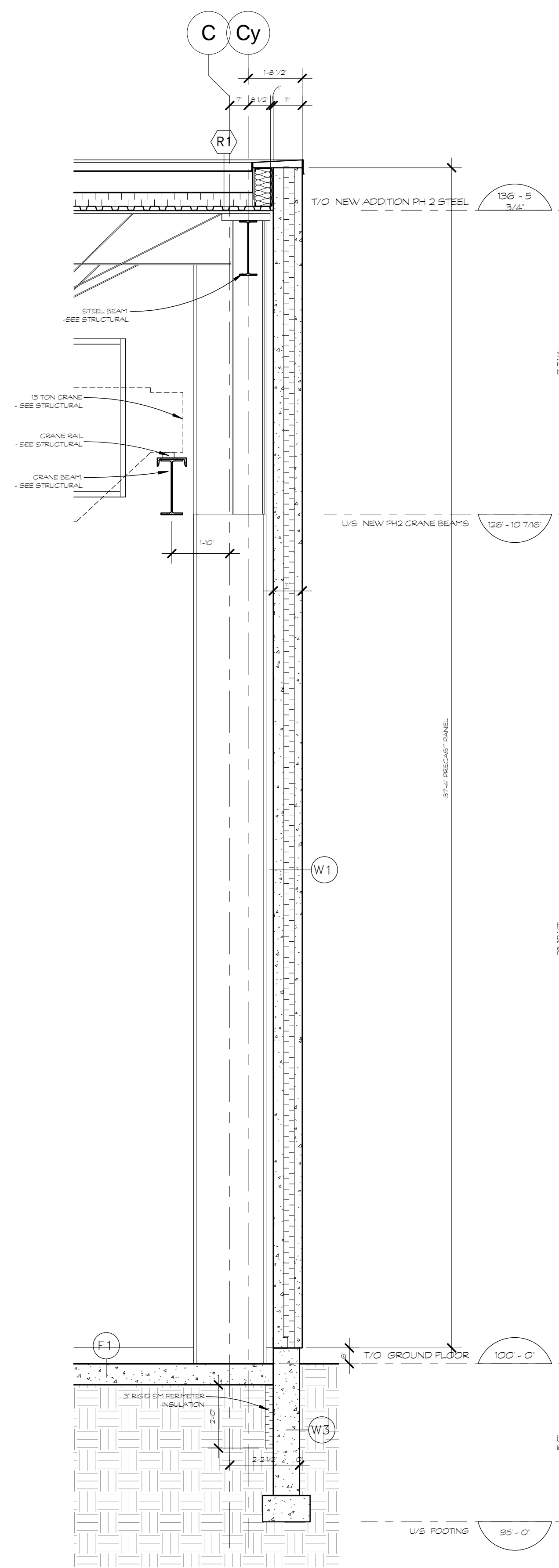
plot scale 1:1



1 PHASE 2 - WALL SECTION
A351 SCALE 3/8" = 1'-0"



2 PHASE 2 - WALL SECTION
A351 SCALE 3/8" = 1'-0"



3 PHASE 2 - WALL SECTION
A351 SCALE 3/8" = 1'-0"

TYPICAL WALL, PARTITION, FLOOR & ROOF CONSTRUCTIONS

TYPICAL EXTERIOR WALL CONSTRUCTIONS

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- W2 EXTERIOR WALL W/SIDING (1.1/8")
- 1 1/2" PREFIN. METAL SIDING PANELS ON
- 3" GALV. HORIZONTAL Z-BAR FURRING
- C/W 3" RIGID INSULATION SHEATHING (R10)
- ALL JOINTS, PERIMETER & PENETRATIONS TAPED & SEALED ON
- 4" GALV. ST.ST. FRAMING @ 16" O/C
- C/W MIN. 4" MINERAL WOOL INSULATION (R15) ON
- 2" GALV. HORIZONTAL Z-BAR FURRING ON
- 5/8" INTERIOR PREFIN. METAL LINER PANEL & VAPOUR BARRIER
- W3 FOUNDATION WALLS
- REINFORCED CONCRETE AS PER STRUCTURAL DWGS.
- BELOW GRADE
- 3" RIG. SM. INSULATION, ADHERED TO INTERIOR PERIMETER
- FROM U/S FLOOR SLAB TO 2'-0" BELOW FINISHED GRADE

TYPICAL FLOOR CONSTRUCTIONS

- F1 CONCRETE SLAB
- REINFORCED POURED CONCRETE SLAB ON GRADE,
- HARDENED
- SEE STRUCTURAL

TYPICAL ROOF CONSTRUCTIONS

- R1 NEW ROOF (7)
- 2-PLY MOD. BIT ROOFING SYSTEM ON
- 5" RIGID POLYISOCYANURATE ROOFING INSULATION ON
- KRAFT PAPER VAPOUR RETARDER ON
- GALV. METAL DECK ON
- STEEL JOISTS - SEE STRUCTURAL

SB-10

- ALL CONTRACTORS SHALL READ AND COMPLY WITH SB-10 PROJECT INFORMATION DETAILED FORMS IDENTIFIED IN THE LIST OF CONTRACT DOCUMENTS ON DRAWING A0

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

GENERAL LEGEND

- A.F.F. - ABOVE FINISHED FLOOR
- BF - BARRIER FREE
- B/S - BOTH SIDES
- CJ - CONTROL JOINT
- C/W - COMPLETE WITH
- D/F/H - DOOR/FRAME/HARDWARE
- EQ - EQUAL
- EX - EXISTING
- F.R.R. - FIRE RESISTANCE RATING
- N.I.C. - NOT IN CONTRACT
- N.T.S. - NOT TO SCALE
- O/C - ON CENTRES
- O/H - OVERHEAD
- PTD - PAINTED
- PT - PRESSURE TREATED
- U/C - UNDER COUNTER
- U/N - UNLESS NOTED
- U/S - OTHERWISE
- WR - WATER RESISTANT

PROJECT SPECIFIC

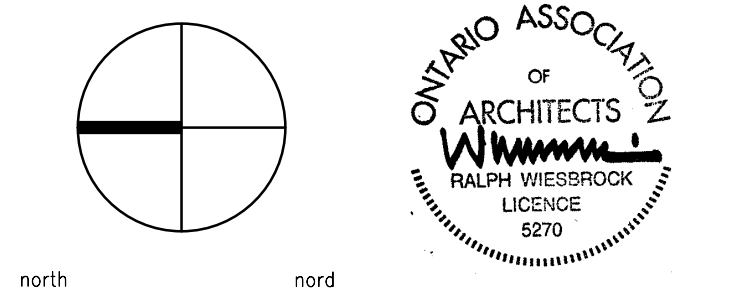
- ALUM - ALUMINUM
- CONC - CONCRETE
- CL - CLEAR ANODIZED
- ANOD - ANOD
- FD - FLOOR DRAIN
- GWB - GYPSUM WALL BOARD
- HM - HOLLOW METAL
- PSF - PRESSED STEEL FRAME

- RD - ROOF DRAIN
- ST.ST. - STEEL STUDS

0 ISSUED FOR TENDER 04 MAY 2017

0 ISSUED FOR PERMIT 23 MAR 2017

no. revision date



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detail no. 1 detail no.
sheet no. A1 feuille no.

project
projet

M-CON PHASE 2 & 4 EXTENSIONS
2640 CARP RD.
OTTAWA, ON
K0A 1L0

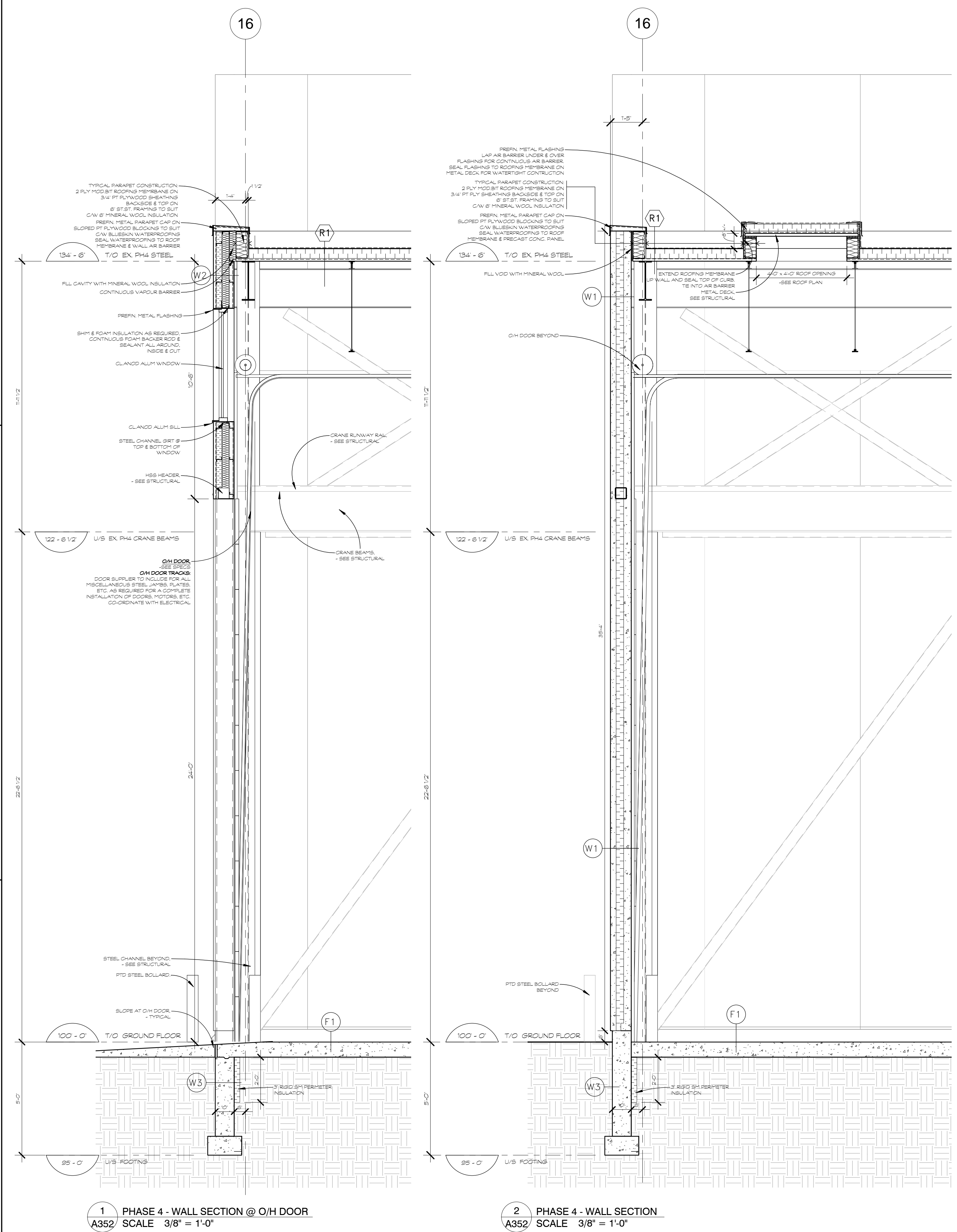
designed by
drawn by
date
23 MARCH 2017

approved by
project no.
1712
scale
as noted

PHASE 2 WALL SECTIONS

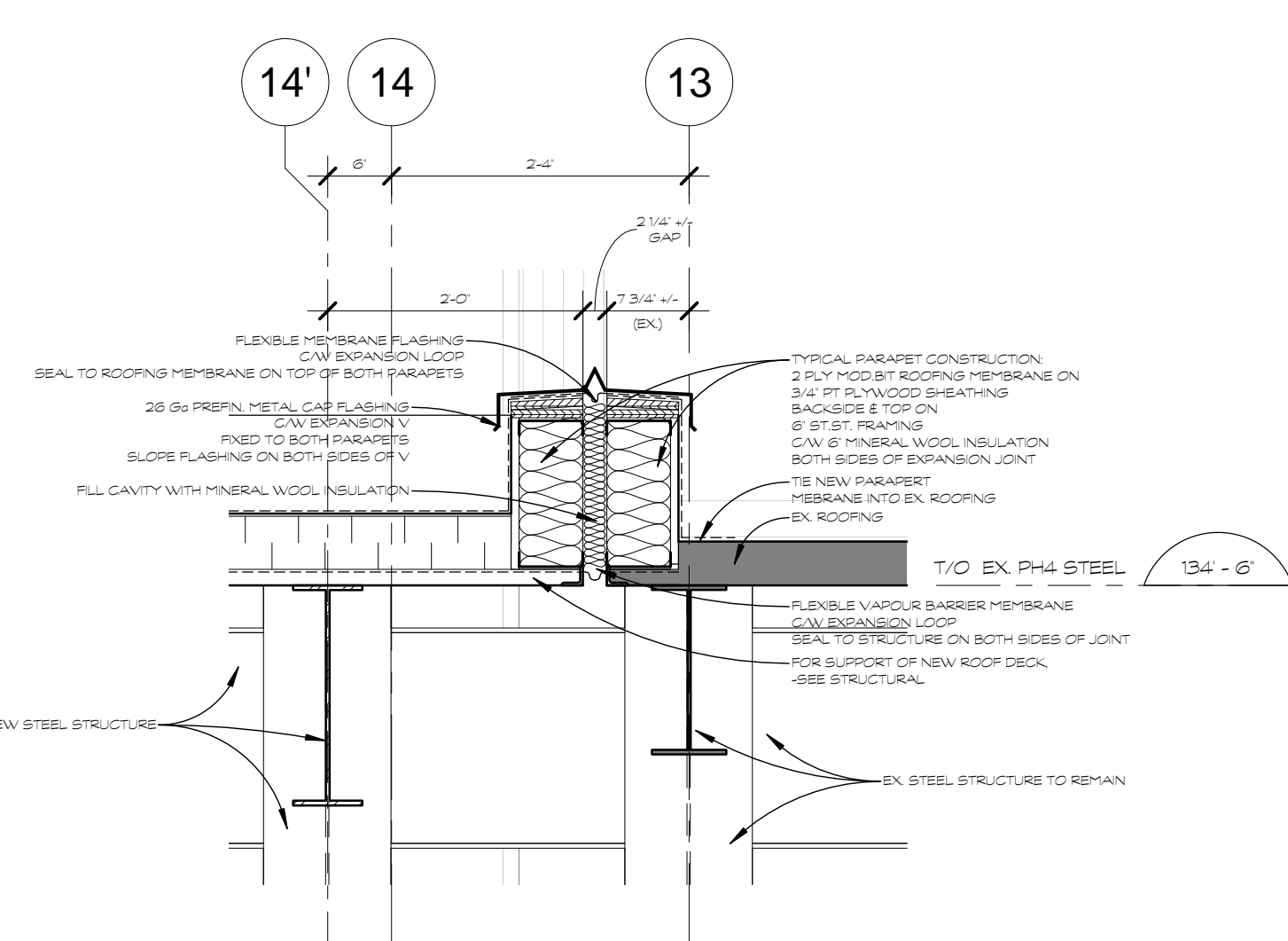
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no. de feuille

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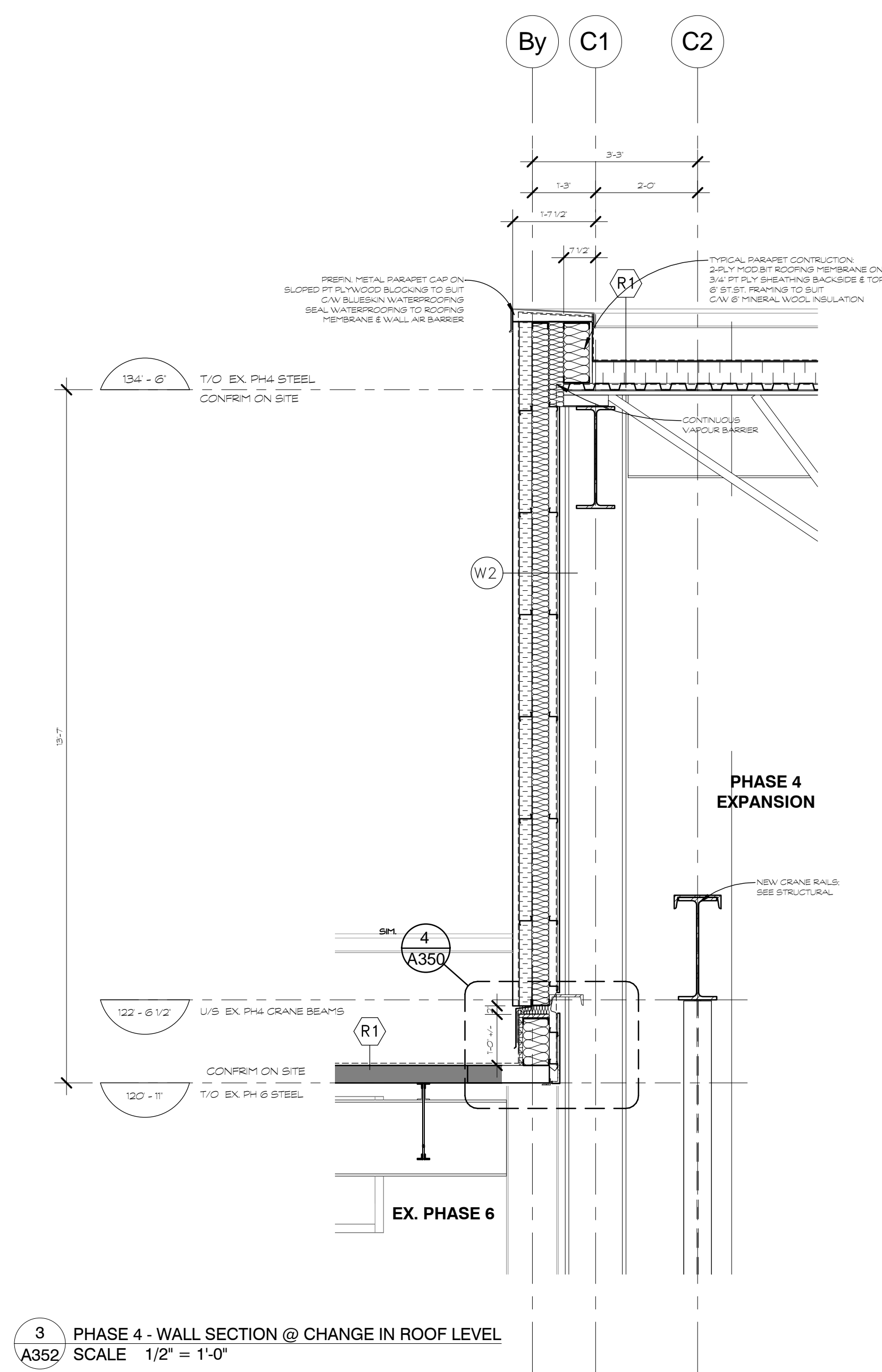


1 PHASE 4 - WALL SECTION @ O/H DOOR
A352 SCALE 3/8" = 1'-0"

2 PHASE 4 - WALL SECTION @ CHANGE IN ROOF LEVEL
A352 SCALE 3/8" = 1'-0"



4 EXPANSION JOINT DETAIL
A352 SCALE 3/4" = 1'-0"

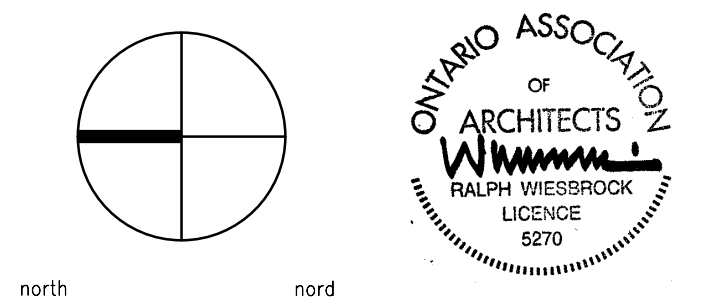


3 PHASE 4 - WALL SECTION @ CHANGE IN ROOF LEVEL
A352 SCALE 1/2" = 1'-0"

- TYPICAL WALL, PARTITION, FLOOR & ROOF CONSTRUCTIONS**
- TYPICAL EXTERIOR WALL CONSTRUCTIONS**
- W1 PRECAST CONCRETE SANDWICH PANEL WALL (1)**
1" PRECAST CONCRETE SLAB C/W INSULATED CORE (R22.8)
- W2 EXTERIOR WALL W/ SIDING (1 1/8")**
1 1/2" PREFIN. METAL SIDING PANELS ON
3" GALV. HORIZONTAL Z-BAR FURRING
C/W 3" RIGID INSULATION SHEATHING (R10)
ALL JOINTS, PERIMETER & PENETRATIONS TAPED & SEALED ON
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REINFORCED CONCRETE AS PER STRUCTURAL DWGS.
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FROM U/S FLOOR SLABS TO 2'-0" BELOW FINISHED GRADE
- TYPICAL FLOOR CONSTRUCTIONS**
- F1 CONCRETE SLAB**
REINFORCED POURED CONCRETE SLAB ON GRADE.
HARDENED
-SEE STRUCTURAL
- TYPICAL ROOF CONSTRUCTIONS**
- R1 NEW ROOF (1)**
2-PLY MOD. BIT ROOFING SYSTEM ON
5" RIGID POLYISOCYANURATE ROOFING INSULATION ON
KRAFT PAPER VAPOUR RETARDER ON
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- SB-10**
- ALL CONTRACTORS SHALL READ AND COMPLY WITH SB-10 PROJECT INFORMATION DETAILED FORMS IDENTIFIED IN THE LIST OF CONTRACT DOCUMENTS ON DRAWING A0

- NOTES:**
- Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.
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designed by	colpa par	approved by	approved par
drawn by	dessiné par	project no.	no. de projet
date	23 MARCH 2017	scale	as noted

PHASE 4 WALL SECTIONS