

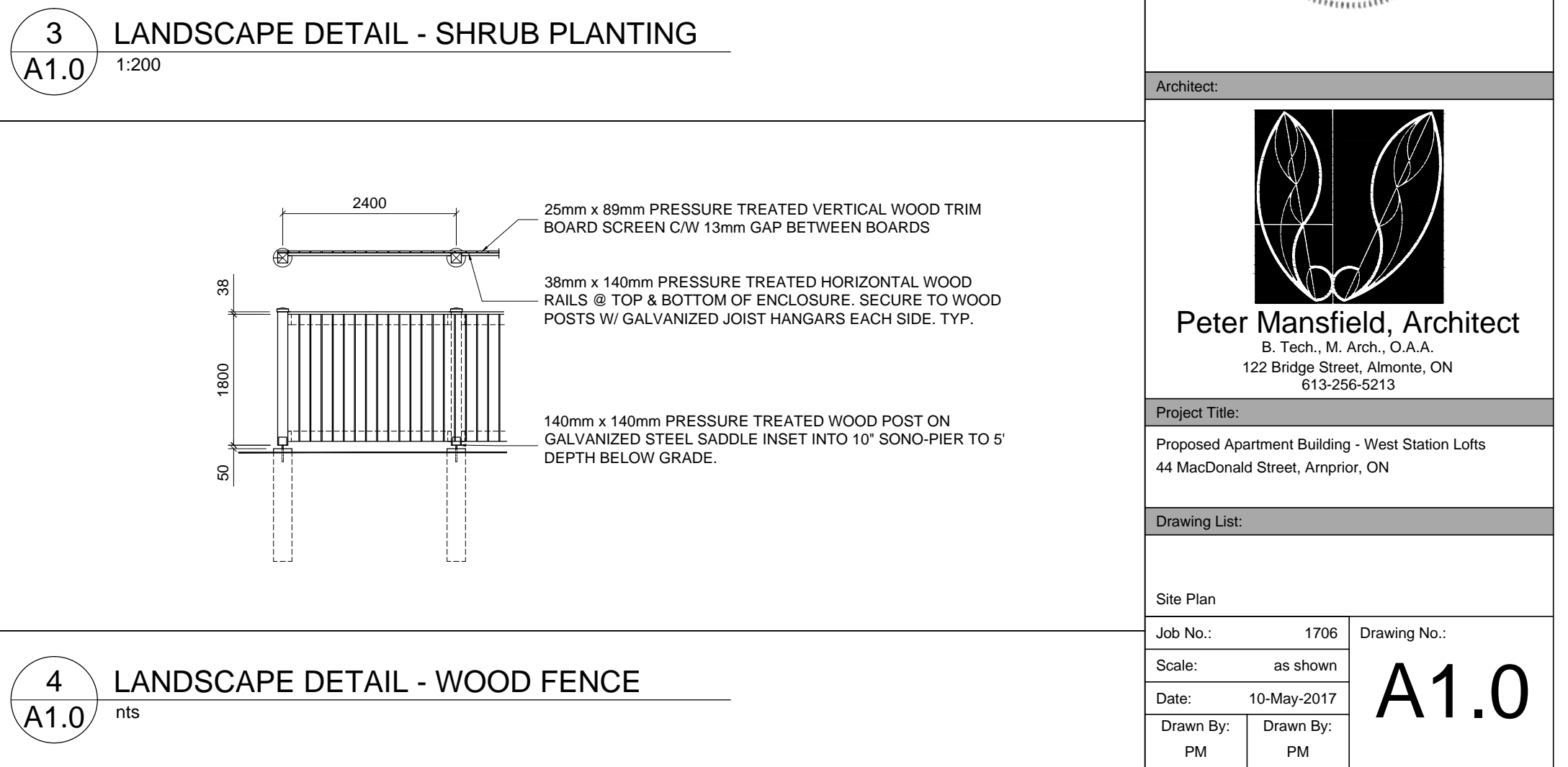
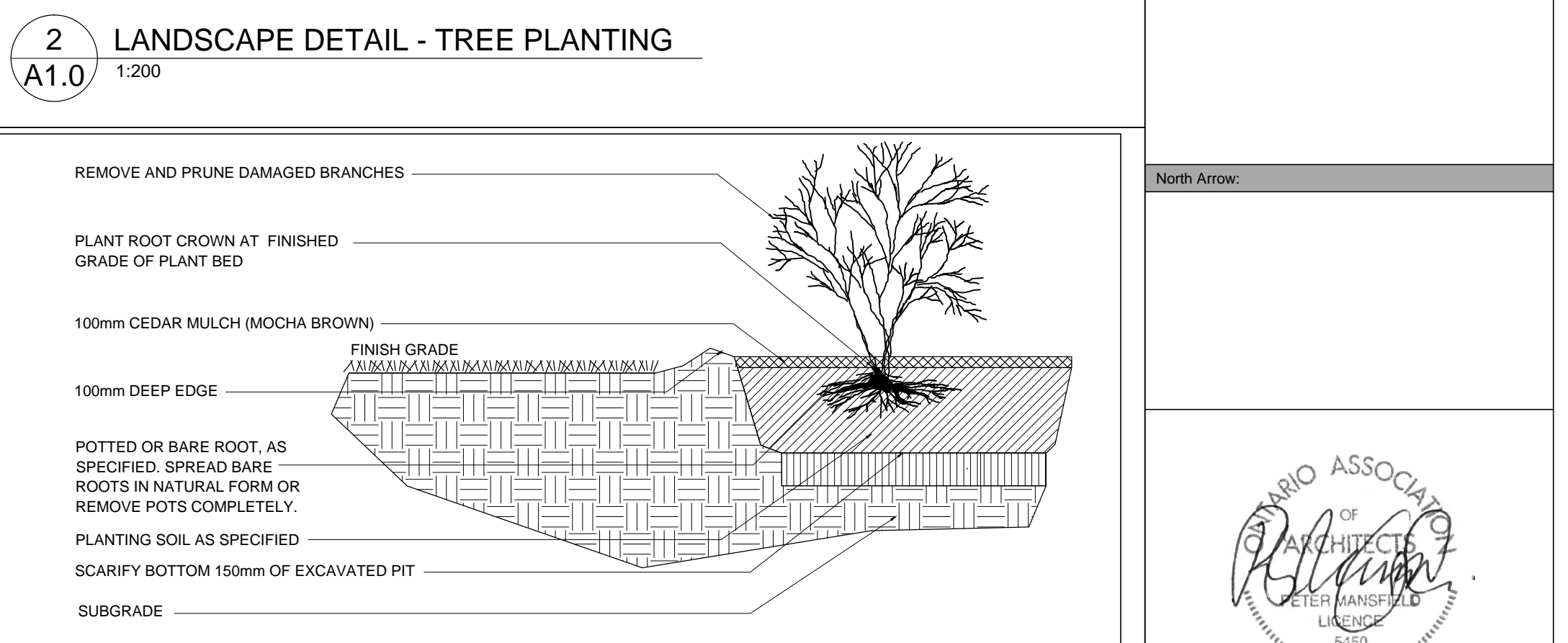
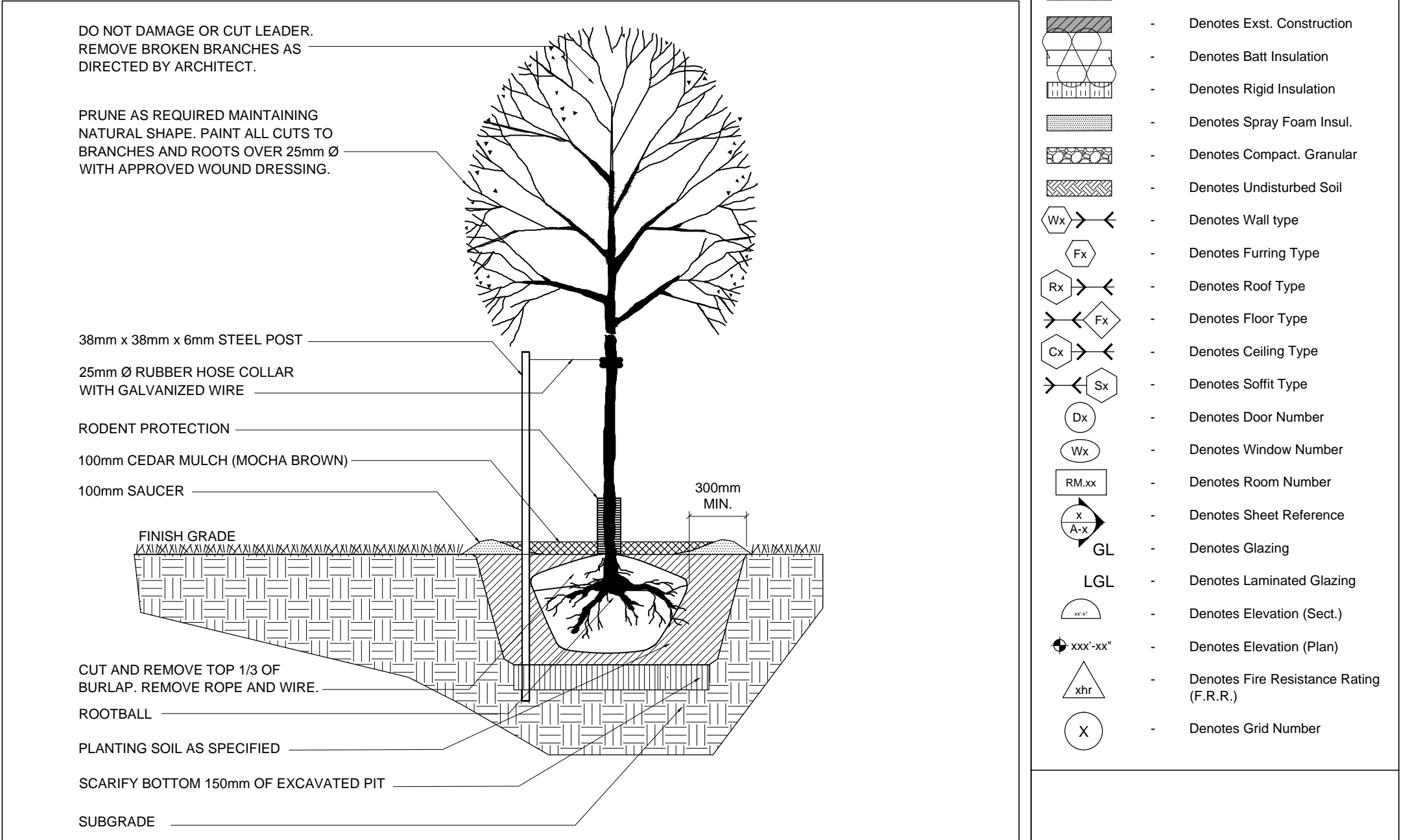
OBC Matrix

Name of Practice:
Peter Mansfield Architect - OAA License #5450
122 Bridge Street, Almonte ON K0A 1A0
T: (613) 256-5213

Name of Project:
21 unit Apartment Building - West Station Lofts

Location of Project:
44 Macdonald Street, Anrpnr, ON

Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9		Building Code Reference	
	Part 11 11.1. to 11.4.	Part 9 1.1.2 [A]	Part 3 1.1.2 [A] & 9.10.1.3.	Part 9 1.1.2 [A] & 9.10.1.3.
1	Project Description: 3 Storey Apartment Building	Part 11	Part 3	Part 9
2	Major Occupancy(s): Residential	Part 11	Part 3	Part 9
3	Building Area (m ²): Existing: n/a New: 533 sm Total: 533 sm	Part 11	Part 3	Part 9
4	Gross Area (m ²): Existing: n/a New: 1599 sm Total: 1599 sm	Part 11	Part 3	Part 9
5	Number of Storeys: Above Grade: 3 Below Grade: n/a	Part 11	Part 3	Part 9
6	Number of Streets / Fire Fighter Access: 2	Part 11	Part 3	Part 9
7	Building Classification: Entire Building: Selected Compartments Basement: Selected Floor Areas	Part 11	Part 3	Part 9
8	Sprinkler System Proposed: Not Required	Part 11	Part 3	Part 9
9	Standpipe Required: Yes	Part 11	Part 3	Part 9
10	Fire Alarm Required: Yes	Part 11	Part 3	Part 9
11	Water Service / Supply is Adequate: Yes	Part 11	Part 3	Part 9
12	High Building: Yes	Part 11	Part 3	Part 9
13	Construction Restrictions: Combustible Permitted	Part 11	Part 3	Part 9
14	Mezzanine Area (m ²): n/a	Part 11	Part 3	Part 9
15	Occupant Load Based on: 1st Floor: Occupancy C Load 7 2nd Floor: Occupancy C Load 10 3rd Floor: Occupancy C Load 10	Part 11	Part 3	Part 9
16	Barrier-Free Design: Yes	Part 11	Part 3	Part 9
17	Hazardous Substances: No	Part 11	Part 3	Part 9
18	Required Fire Resistance: Horizontal Assemblies: 45 min. FRR (Hours) Roof: n/a Mezzanine: n/a Supporting Members: 45 min. FRR (Hours)	Part 11	Part 3	Part 9
20	Plumbing Fixture Requirements: Males / Female Count	Part 11	Part 3	Part 9
21	Comments: Design Efficiency Design based on Package A2' of SB-12 Perspective Method	Part 11	Part 3	Part 9



DRAWING LIST

Architectural Drawings

- A1.0 - SITE PLAN / OBC BUILDING CODE MATRIX / GENERAL NOTES / EXPOSED BUILDING FACES
- A2.0 - FOUNDATION PLAN / BUILDING ASSEMBLIES
- A2.1 - MAIN FLOOR PLAN / BUILDING ASSEMBLIES
- A2.2 - SECOND FLOOR PLAN / BUILDING ASSEMBLIES
- A2.3 - THIRD FLOOR PLAN / BUILDING ASSEMBLIES
- A2.4 - ROOF PLAN / BUILDING ASSEMBLIES
- A2.5 - PLAN DETAILS
- A3.0 - ELEVATIONS
- A4.1 - BUILDING SECTIONS & SECTION DETAILS / DOOR & FINISH SCHEDULE
- A4.2 - BUILDING SECTION / ENLARGED STAIR PLANS
- A5.0 - PLAN DETAILS
- A5.1 - MILLWORK / INTERIOR ELEVATIONS / WINDOW SCHEDULE

UNPROTECTED OPENINGS

Area of Opening (m ²)	Area of Linting (m ²)	U or Permitted (m ²)	Proposed (m ²)	FRR (Hours)	Listed Design or Description	Combustible Construction	Non-Combustible Construction	Non-Combustible Cladding
19.0	0.0	19.0	19.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
17.0	0.0	17.0	17.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
15.0	0.0	15.0	15.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
13.0	0.0	13.0	13.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
11.0	0.0	11.0	11.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
9.0	0.0	9.0	9.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
7.0	0.0	7.0	7.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
5.0	0.0	5.0	5.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
3.0	0.0	3.0	3.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO
1.0	0.0	1.0	1.0	0	SB-2 Table 2.3.4(1)(i)	YES	NO	NO

GENERAL CONSTRUCTION NOTES

- PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE WORK AS INDICATED ON DRAWINGS.
- SAFETY BARRIERS AND SIGNAGE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION. LIFT AND TIE ALL JOISTS.
- CONTRACTOR TO PROVIDE PROTECTIVE CLEARANCES TO ALLOW FOR INSTALLATION OF DOORS, WINDOWS & TRIMS. SCHEDULED CLEARANCES BE DISCOVERED, NOTIFY ARCHITECT IMMEDIATELY.
- COMPARE ALL COLOURS, FINISHES AND MATERIALS SPECIFIED WITH OWNER & ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ALL SERVICES FOR WHICH FINISH FLOOR FINISHES, SCHEDULED OPENINGS AND FINISHES ARE SPECIFIED.
- PROVIDE SHOP DRAWINGS FOR ALL PRECAST CONCRETE, EXTERIOR DOORS & WINDOWS, DOOR & WINDOW HARDWARE, WINDOW ACCESSORIES, HORIZONTAL FINISHES, STEEL STRUCTURAL MEMBERS, STEEL PANEL STRUCTURAL STEEL, FRAMING AND JOIST FOR APPROVAL BY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND ALL WORK TO BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- AT COMPLETION, TOUCH UP AND FINISHING SURFACES WHERE DAMAGED, AND LEAVE FINISHED SURFACES IN GOOD CONDITION, CLEAN TO A BROAD FINISH.
- INSURE ADEQUATE BRACING FOR ALL INTERIOR PARTITIONS ESPECIALLY THOSE THAT DO NOT GO TO THE UNDERSIDE OF THE CEILING.
- ALL MATERIALS AND FINISHES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE ALL NECESSARY BRACING AND SHORING FOR ALL EXPOSED WORK AND ALL INTERIOR WORK.
- ALL TRACES TO COMPLETE WORK IN ORDER PRIOR TO THE NEXT TRADE TO BEGIN. UNDER NO CIRCUMSTANCES SHALL ANY INCOMPLETE WORK BE COVERED UP BY FINISHING TRADE. IT WILL BE THE RESPONSIBILITY OF THE TRADE THAT COVERED UP THE WORK TO REPAIR THE WORK TO BRING IT UP TO THE NEXT TRADE'S STANDARD.
- PROVIDE CONSTRUCTION SCHEDULING (GANTT CHART) SHOWING ALL INTERIOR AND EXTERIOR WORK.
- INSURE FRAMING FOR EXTERIOR SHOUT SPECIALLY BRACING THE WALLS AND ENTRANCE WALLS BY FLUSH AND PLUMB TO WITHIN 4" OF REQUIRED CLEARANCES.
- FORMING CONSTRUCTION WALLS ON THE ENTRANCE SIDE OF THE ELEVATOR SHAFT SHALL BE LEFT OPERABLE. THE ELEVATOR DOOR FRAMES ARE SET.
- SUPPLY MATERIAL ALL SIZES AND QUANTITIES INDICATED ON THE DRAWINGS. COMPARE QUANTITIES WITH THE ARCHITECT ON SITE.
- PROVIDE SAFE EDGE FOR ALL FLOORING AND SILLING OF ALL ASSEMBLY FINISHES WATER AWAY FROM BUILDING.
- SUPPLY AND INSTALL LOT SCHEDULING AND EMERGENCY LIGHTING AS PER OBC. CONFIRM LOCATION WITH ARCHITECT ON SITE.
- DOOR FACTORY CONDITION UPON COMPLETION.

LANDSCAPE PLANTING SCHEDULE

TAG	TYPE	NAME	SPECIES	QUANTITY	SIZE	REMARKS
A	DECIDUOUS TREE	SUGAR MAPLE	ACER SACCHARUM	7	60mm CALIPER	- B & B SINGLE STEM
B	CONIFEROUS TREE	WHITE SPRUCE	PICEA GLAUCA	14	180cm HEIGHT	- B & B
C	DECIDUOUS SHRUB	BUSH HONEYSUCKLE	DIERVILLA LONICERA	7	50cm HEIGHT	- POTTED
D	DECIDUOUS SHRUB	ANTHONY WATERER SPIREA	SPIREA BUMALDA ANTHONY WATERER	20	50cm HEIGHT	- POTTED, 60cm CVC
E	CONIFEROUS SHRUB	CREeping JUNIPER	HUNIPERUS HORIZONTALIS	24	20cm HEIGHT	- POTTED, 50cm CVC
F	PERENNIAL	WILD GERANIUM	GERANIUM MACULATUM	5	20cm HEIGHT	- POTTED, 50cm CVC

No.	Issued For:	Date:
1	For Review	May 16-2017
2	For Site Plan Review	May 29-2017
3	For Permit	June 21-2017
4	For Review	June 27-2017
5	For Tender	July 10-2017
6	Revisions	July 25-2017

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect.

All Contractors must comply with pertinent codes & by-laws.

Do not scale drawings. This drawing may not be used for construction until signed. Architect's copyright reserved.

Metric Scale Drawing: All measurements are in millimeters (mm) unless otherwise noted. This sheet is an A1 Metric Sheet (841mm x 594mm)

Symbol Legend:

- Denotes Brick Veneer
- Denotes Concrete Block
- Denotes Poured Concrete
- Denotes Exst. Construction
- Denotes Batt Insulation
- Denotes Rigid Insulation
- Denotes Spray Foam Insul.
- Denotes Compact Granular
- Denotes Undisturbed Soil
- Denotes Wall type
- Denotes Furring Type
- Denotes Roof Type
- Denotes Floor Type
- Denotes Ceiling Type
- Denotes Soffit Type
- Denotes Door Number
- Denotes Window Number
- Denotes Room Number
- Denotes Sheet Reference
- Denotes Glazing
- LGL - Denotes Laminated Glazing
- Denotes Elevation (Sect.)
- Denotes Elevation (Plan)
- Denotes Fire Resistance Rating (F.R.R.)
- Denotes Grid Number

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Project Title: Proposed Apartment Building - West Station Lofts
44 Macdonald Street, Anrpnr, ON

Job No.: 1706
Scale: as shown
Date: 10-May-2017
Drawn By: PM
Drawing No.: A1.0