

LOCATION PLAN

SITE INFORMATION

LOT AREA - 49,132 ft² (4,564 m²)

LOT DEPTH - 196.82 ft (60.0 m)

LOT FRONTAGE - 245.25 ft (74.8 m)

A2.1 1:300

LEGAL DESCRIPTION - PART 1 OF LOT 14,

CIVIC ADDRESS - 411 COUNTRY STREET, ALMONTE ON KOA 1A0

CONCESSION 9, PLAN 27R - 6632, PIN 05091-0188 (LT)

PROPOSED NEW SOLARIUM 'LINK' BUILDING:

BUILDING HEIGHT: 4.6m - AS MEASURED TO MIDPOINT OF SLOPED ROOF

BUILDING HEIGHT = 10.2m - AS MEASURED TO MIDPOINT OF SLOPED ROOF

BUILDING HEIGHT = 7.7m - AS MEASURED TO MIDPOINT OF SLOPED ROOF

EXISTING 3 STOREY APARTMENT BUILDING, 411 COUNTRY STREET

PROPOSED NEW 2 STOREY EXTENSION, 411 COUNTRY STREET:

BUILDING AREA: 86 m²

GROSS FLOOR AREA: 86 m²

TOTAL BUILDING SIZE: = 573m²

GROSS FLOOR AREA = 1719 m²

TOTAL BUILDING SIZE: = 401m²

GROSS FLOOR AREA = 802 m²

Proposed12 Unit Extension to Existing Apartment Building 411 Street Country Street

ALMONTE, ON

ARCHITECTURAL DRAWING LIST:

TOTAL COVERAGE - 23.2% OF GROSS LOT SIZE

FRONT YARD SETBACK - 16.4ft (5m)

EXTERIOR SIDE YARD SETBACK - 19.7 ft (6.0 m)

TOTAL GREEN SPACE = 1,689m² = 37.1% OF GROSS LOT SIZE

ZONING CLASSIFICATION - RESIDENTIAL TYPE 4 (R-4) ZONE

TOTAL HARD-SCAPE AREAS = 1,815 m² = 39.7% OF GROSS LOT SIZE

ZONING INFORMATION FOR NEW 1-STOREY BUILDING

(TOWN OF MISSISSIPPI MILLS COMPREHENSIVE ZONING BY-LAW - SECTION 13.1)

OFFICIAL PLAN DESIGNATION - MEDIUM DENSITY RESIDENTIAL DEVELOPMENT

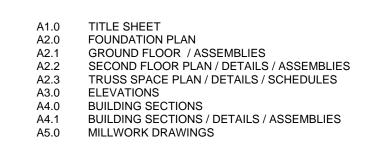
(TOWN OF MISSISSIPPI MILLS COMPREHENSIVE ZONING BY-LAW - SECTION 13.2)

REAR YARD SETBACK - 14.7 ft (4.5 m) - APPROVED MINOR VARIANCE - DECEMBER 14, 2009

INTERIOR SIDE YARD SETBACK - 0.0 ft (0.0 m) - APPROVED MINOR VARIANCE - DECEMBER 14, 2009

(TOWN OF MISSISSIPPI MILLS COMMUNITY OFFICIAL PLAN - SECTION 3.6.5.)

ZONING AND PARKING INFORMATION



ISSUE 01	- - - - -	FOR BUILDING PERMIT FOR BUILDING PERMIT FOR BUILDING PERMIT FOR BUILDING PERMIT FOR BUILDING PERMIT FOR BUILDING PERMIT		FEB-2018 FEB-2018 FEB-2018 FEB-2018 FEB-2018 FEB-2018
ISSUE 01 ISSUE 01	-	FOR BUILDING PERMIT FOR BUILDING PERMIT	-	FEB-2018

PARKING REQUIREMENTS FOR EXISTING 3-STOREY BUILDING

RESIDENTIAL - 10 DWELLING UNITS FOR EXCLUSIVE USE BY THE ELDERLY
AS APPROVED IN 2010 FOR PHASE TWO DEVELOPMENT UNDER TOWN OF MISSISSIPPI MILLS
COMPREHENSIVE ZONING BY-LAW - SECTION 6.44.1(b)

LOADING SPACES ARE LOCATED ON ADJACENT PROPERTY - 375 COUNTRY STREE

AND ARE SHARED BY SERVICE ACCESS DOORS ON WEST ELEVATION OF 3 STOREY APARTMENT

- 43 REGULAR PARKING SPOTS + 3 HANDICAPPED = 46 SPACES

RESIDENTIAL - 18 DWELLING UNITS FOR EXCLUSIVE USE BY THE ELDERLY*

ADDITIONAL 2 UNITS IN 3 STOREY APARTMENT, 411 COUNTRY STREET

PARKING REQUIREMENTS FOR PROPOSED NEW SOLARIUM 'LINK' BUILDING

PARKING SPOTS REQUIRED FOR FUTURE 12 UNIT 2 STOREY APARTMENT BUILDING

TOTAL LOADING SPACES REQUIRED

BUILDING & NORTH DOOR OF 1 STOREY LINK

PLACE OF ASSEMBLY PARKING REQUIRED

TOTAL PARKING REQUIRED =

TOTAL PARKING REQUIRED

TOTAL PARKING SPOTS REQUIRED

FOR BUILDING PERMIT FOR BUILDING PERMIT FOR BUILDING PERMIT	- -	- FEB-2018 - FEB-2018 - FEB-2018		19	Spatial Separation - Construction Wall	of Exterio	r Walls Area of	Limiting	I/H or	Permitted	Proposed	FRR	991001 4 422(1) 1.)(ե՛խ)(i()i) Listed Design No.
FOR BUILDING PERMIT FOR BUILDING PERMIT FOR BUILDING PERMIT	-	FEB-2018 FEB-2018 FEB-2018			114	EBF (m²)		Distance (m)	H/L	Max. % of		(Hours)	or Description
FOR BUILDING PERMIT	-	FEB-2018			South Elevation - A	37.7	18.4	35.49	2:1	100	48.8	n/a	n/a
FOR BUILDING PERMIT	-	FEB-2018			South Elevation - B	81.8	32	34.39	2:1	100	39.11	n/a	n/a
FOR BUILDING PERMIT	-	FEB-2018			North Elevation	125.1	48	5.93	4:1	53	38.3	3/4	OBC 2006 SB3 EW18
					East Elevation	106.3	3.8	14.92	3:1	100	16.9	n/a	n/a

No.: Issued For: Date: 01 For Review Nov 23-2017 02 For Permit & Site Plan Appl'n Nov 27-2017 03 Revisions - Town of MM Comments Feb 01-2018 04 Revisions - Town of MM Comments Feb 07-2018 05 Revisions - Town of MM Comments Feb 08-2018 06 Permit Application Feb 15-2018 **Building Code Reference** It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect. 1.1.2.[A] & 9.10.1.3. All Contractors must comply with pertinent codes &

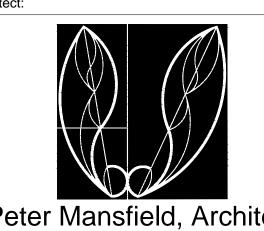
Do not scale drawings. This drawing may not be used

for construction until signed. Architect's copyright

Metric Scale Drawing: All measurements are in millimeters (mm) unless otherwise noted.

Symbol Legend:

Project North Arrow: Actual North Arrow:



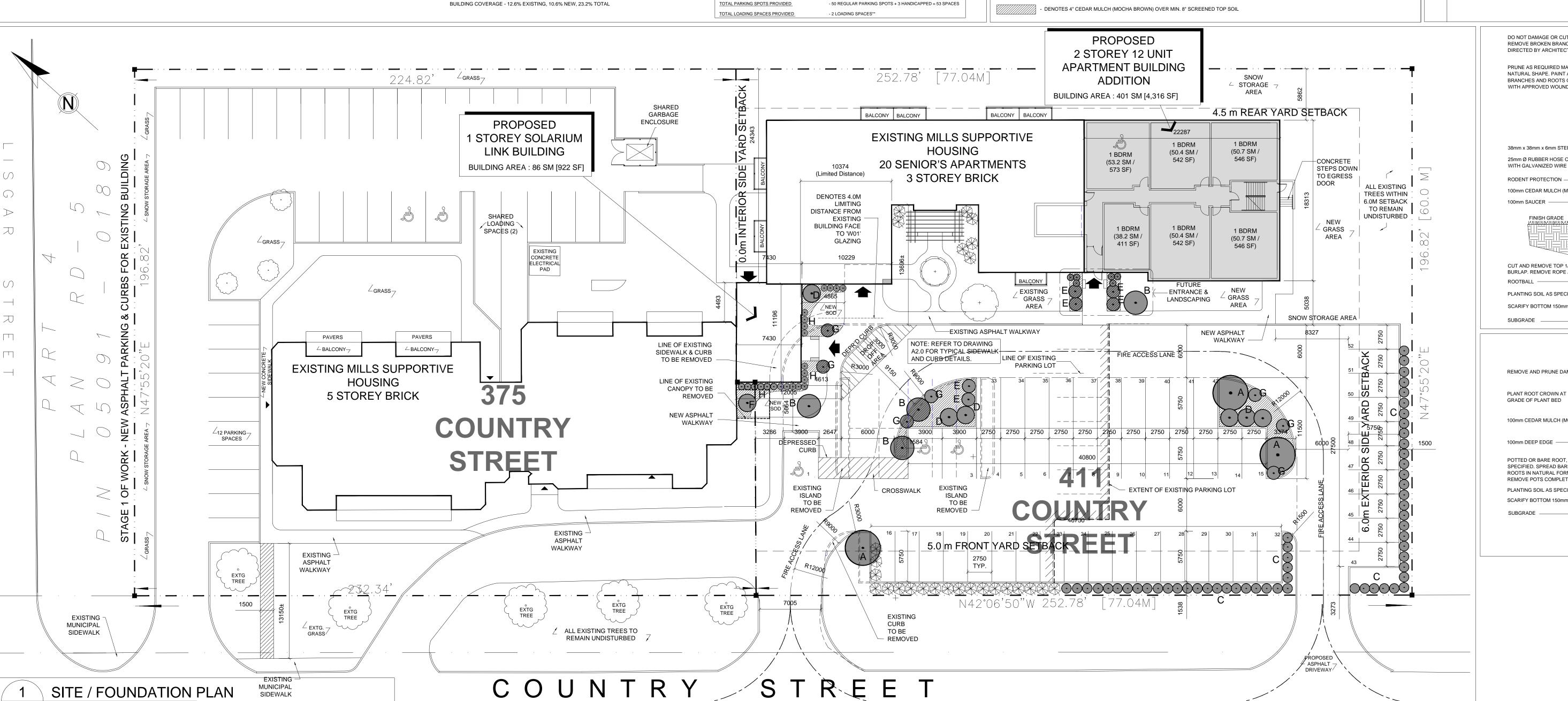
Peter Mansfield, Architect 122 Bridge Street, Almonte, ON 613-256-5213

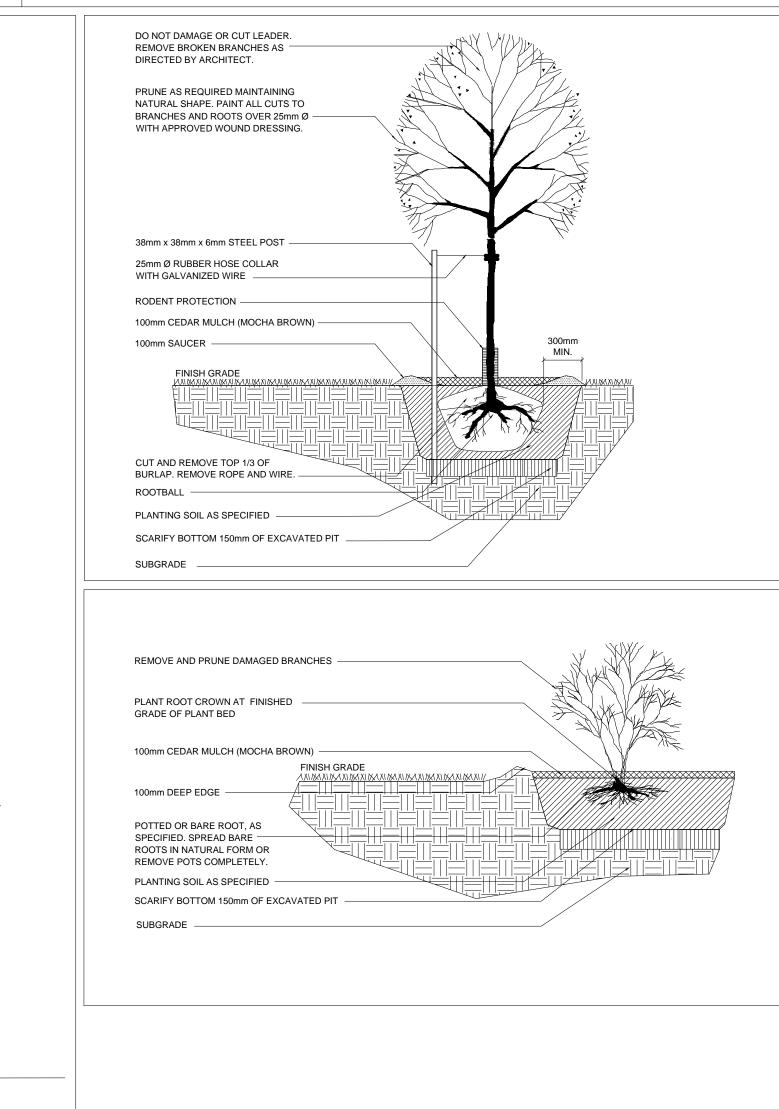
Project Title: Proposed 12 Unit Extension to Existing Apartment Bldg. 411 Country Street, Almonte, ON

Drawing List: Drawing List / OBC MATRIX / Key Plan

Drawn By: Reviewed By

PM





OBC CODE MATRIX

■ Part 3

1.4.1.2.[A] 1.4.1.2.[A]

9.10.20.

9.10.8.2.

9.10.2.

Index

9.10.18.

9.10.6.

9.9.1.3.

Fixtures | # Fixtures | Building Code Reference

4 / unit 4 / unit

4 / unit

9.10.8. & 9.10.9.

9.31.4.1.(1

9.31.4.1.(1)

9.31.4.2.(1)

9.31.4.2.(1)

relocated from existing

1.4.1.2.[A] & 9.10.4.

Name of Practice:

T: (613) 256-5213

Name of Project:

Location of Project: 411 Country Street Almonte ON K0A 1A0

senior's apartment residence

Major Occupancy(s): Residential

Water Service / Supply is Adequate:

Ground Floor: Residential

Hazardous Substances:

Rating (FRR) Floors

Residential Dwelling Units

Total

Other Areas

Resistance

Peter Mansfield Architect - BCIN 5450

122 Bridge Street, Almonte ON K0A 1A0

Mills Supportive Housing - 12 Unit Extension

Project Description: New 2-storey 12 unit wood framed

■ New □ Addition □ Alteration □ Change of Use

Number of Storeys: Above Grade ____2___

Number of Streets / Fire Fighter Access: 2

Ontario's 2006 Building Code

Data Matrix Part 3 or 9

Sprinkler System Proposed:

Entire Building

Selected Compartments

Permitted

Horizontal Assemblies

FRR (Hours)

Supporting Members

FRR (Hours)

Mezzanine ____n/a__

Mezzanine <u>n/a</u>

Standpipe Required: □ Yes ■ No Standpipe Provided: □ Yes ■ No 3.2.9.

□ Not Required □ In Lieu of Roof Rating

■ Yes □ No ☐ Yes ■ No

Listed Design No.

or Description

Listed Design No. or

Description

see construction assemblies

Required ■ Combustible □ Non-Combustible □ Both

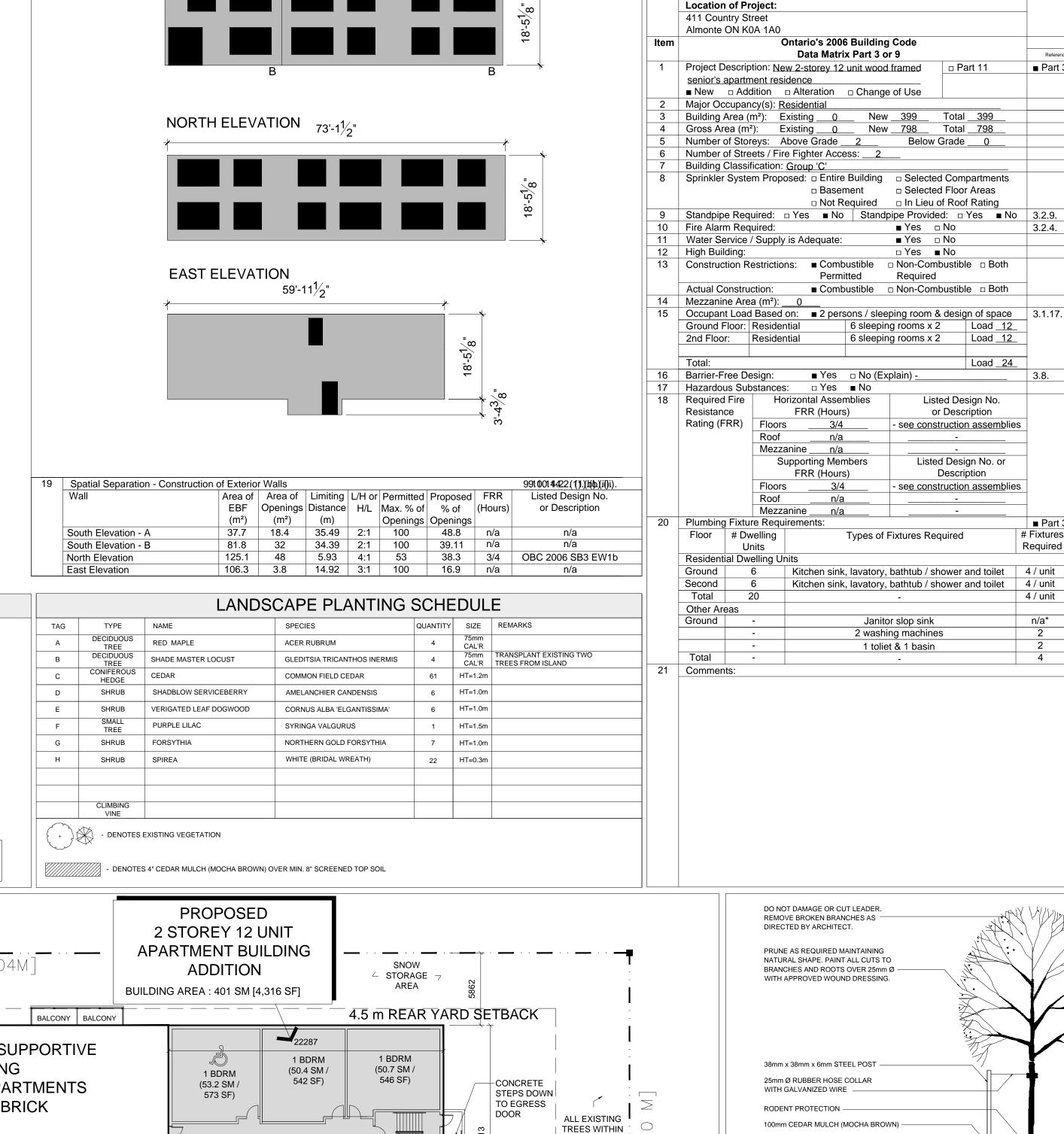
> 6 sleeping rooms x 2 6 sleeping rooms x 2

Types of Fixtures Required

Kitchen sink, lavatory, bathtub / shower and toilet

2 washing machines

1 toliet & 1 basin



UNPROTECTED OPENINGS

SOUTH ELEVATION

