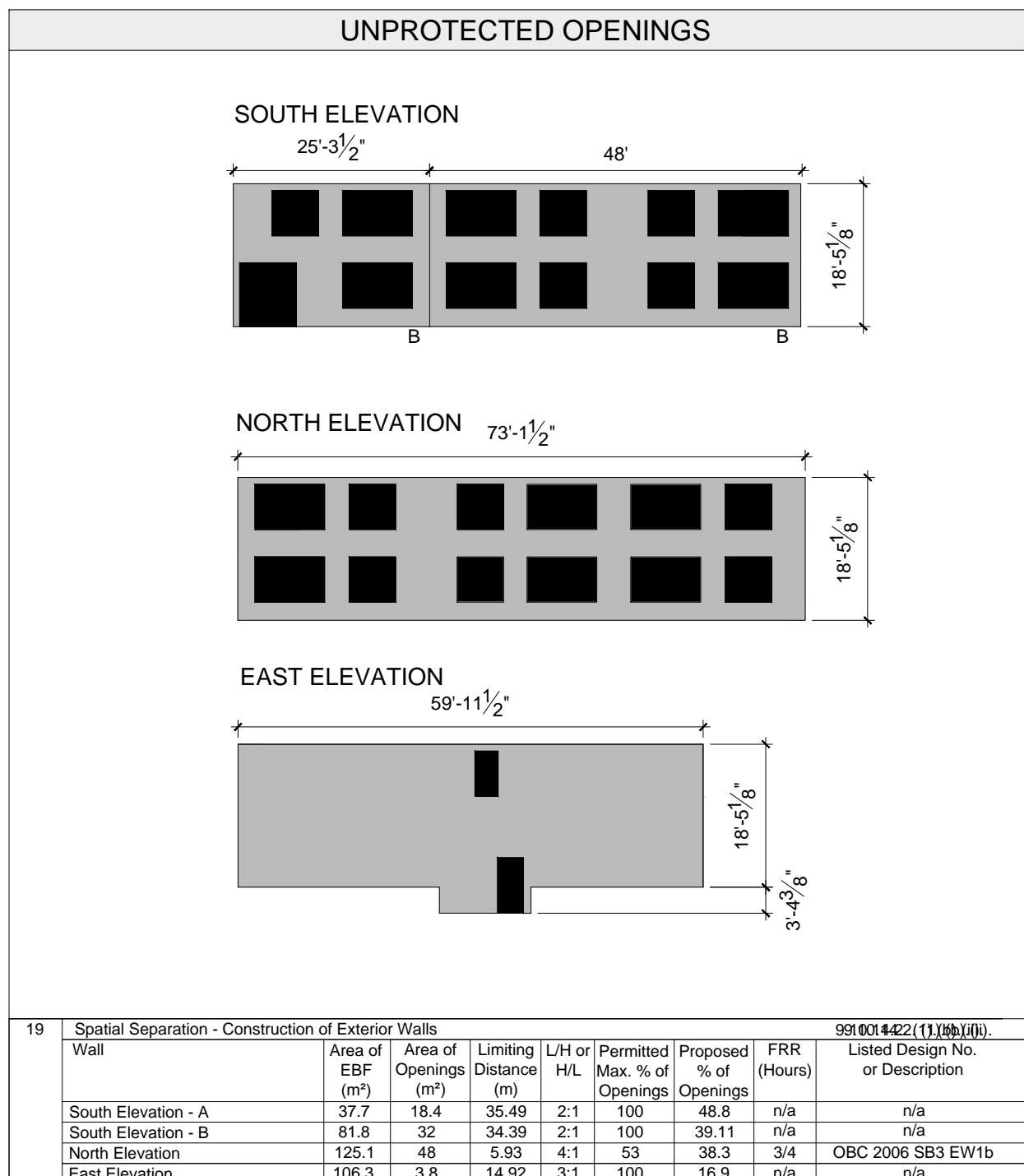
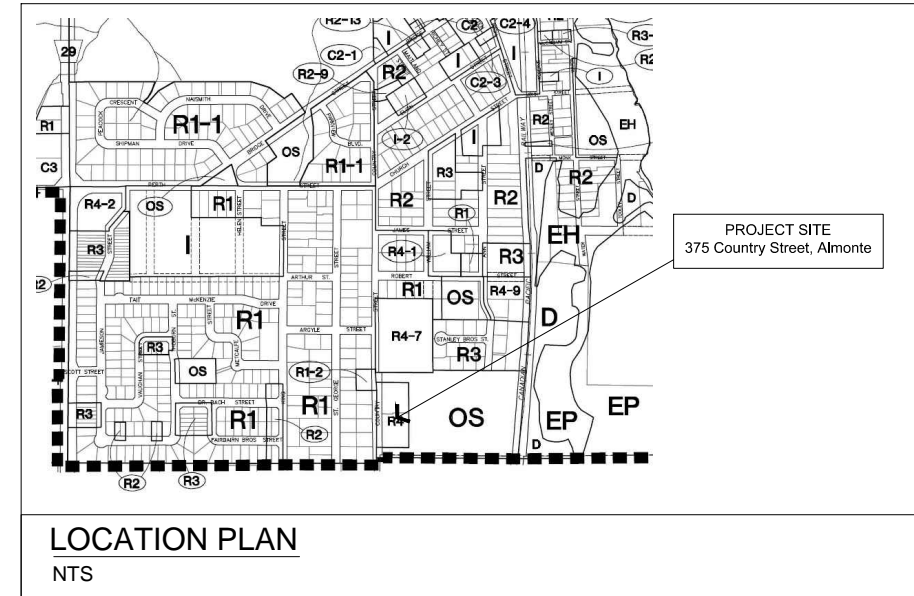


## Proposed Solarium 12 Unit Extension Contry 411 Street Centre

411 COUNTRY STREET, ALMONTE, ON

### ARCHITECTURAL DRAWING LIST:

A1.0 TITLE SHEET	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A2.0 FOUNDATION PLAN	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A2.1 GROUND FLOOR / ASSEMBLIES	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A2.2 SECOND FLOOR PLAN / DETAILS / ASSEMBLIES	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A2.3 TRUSS SPACE PLAN / DETAILS / SCHEDULES	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A2.4 ROOF PLAN / DETAILS	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A3.0 ELEVATIONS	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A4.0 BUILDING SECTIONS	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017
A4.1 BUILDING SECTIONS / DETAILS / ASSEMBLIES	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017	ISSUE 01 - FOR BUILDING PERMIT - NOV 2017



### OBC CODE MATRIX

Item	Ontario's 2006 Building Code Data Matrix Part 3 or 9	Building Code Reference
1	Project Description: New 2-storey, 12 unit wood framed senior's apartment residence	Part 3, Part 9
2	Major Occupancy: Residential	1.1.2 (A) & 9.10.1.3, 9.10.2
3	Building Area (m <sup>2</sup> ): Existing 0, New 399, Total 399	1.4.1.2 (A)
4	Gross Area (m <sup>2</sup> ): Existing 0, New 798, Total 798	1.4.1.2 (A) & 9.10.4
5	Number of Storeys: Above Grade 2, Below Grade 0	9.10.20
6	Number of Streets / Fire Fighter Access: 2	9.10.2
7	Building Classification: Group 1	9.10.8.2
8	Sprinkler System Proposed: Entire Building, Selected Compartments, Selected Floor Areas, or Not Required	3.2.9, 9.10.18, 3.2.4
9	Standpipe Required: Yes, No	N/A
10	Fire Alarm Required: Yes, No	N/A
11	Water Service / Supply is Adequate: Yes, No	9.10.6
12	High Building: Yes, No	9.10.4.1, 9.10.1.3
13	Construction Restrictions: Combustible, Non-Combustible, or Both Permitted	9.10.8, 9.10.9
14	Actual Construction: Combustible, Non-Combustible, or Both	
15	Mezzanine Area (m <sup>2</sup> ): 0	
16	Occupant Load Based on: 2 persons / sleeping room & design of space	
17	Ground Floor: Residential, 6 sleeping rooms x 2, Load 12	
18	2nd Floor: Residential, 6 sleeping rooms x 2, Load 12	
19	Total: Load 24	
20	Barrier-Free Design: Yes, No (Explain)	9.5.2
21	Hazardous Substances: Yes, No	9.10.1.3 (4)
22	Required Fire Resistance: Horizontal Assemblies, Listed Design No. or Description	9.10.8 & 9.10.9
23	Required Fire Resistance: Floors, Mezzanine, Supporting Members, Listed Design No. or Description	
24	Required Fire Resistance: Floors, Mezzanine, Supporting Members, Listed Design No. or Description	
25	Plumbing Fixture Requirements: Part 3, Part 9	
26	Floor # Dwelling Units	
27	Types of Fixtures Required	
28	# Fixtures Required	
29	# Fixtures Provided	
30	Building Code Reference	

### SITE INFORMATION

**PROPOSED NEW SOLARIUM LINK BUILDING:**  
 BUILDING AREA: 86 m<sup>2</sup>  
 GROSS FLOOR AREA: 86 m<sup>2</sup>  
 BUILDING HEIGHT: 4.6m - AS MEASURED TO MIDPOINT OF SLOPED ROOF  
 CONSTRUCTION: PART 1 OF LOT 14, CONCESSION 9, PLAN ZFR- 6632, PN 05091-0189 (LT)

**EXISTING 3 STOREY APARTMENT BUILDING, 411 COUNTRY STREET:**  
 TOTAL BUILDING SIZE: 420m<sup>2</sup>  
 GROSS FLOOR AREA: 402 m<sup>2</sup>  
 BUILDING HEIGHT: 7.7m - AS MEASURED TO MIDPOINT OF SLOPED ROOF

**PROPOSED NEW 2 STOREY EXTENSION, 411 COUNTRY STREET:**  
 TOTAL BUILDING SIZE: 401m<sup>2</sup>  
 GROSS FLOOR AREA: 401 m<sup>2</sup>  
 BUILDING HEIGHT: 7.7m - AS MEASURED TO MIDPOINT OF SLOPED ROOF

### ZONING AND PARKING INFORMATION

**ZONING INFORMATION FOR NEW 1 STOREY BUILDING**  
 ZONING CLASSIFICATION: RESIDENTIAL TYPE 1 (R1) ZONE  
 (TOWN OF MISSISSIPPI MILLS COMPREHENSIVE ZONING BY-LAW - SECTION 13.1)  
 OFFICIAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL DEVELOPMENT  
 (TOWN OF MISSISSIPPI MILLS COMPREHENSIVE ZONING BY-LAW - SECTION 13.5)

**PARKING REQUIREMENTS FOR EXISTING 3-STOREY BUILDING**  
 RESIDENTIAL - 12 UNITS PER EXCLUSIVE USE BY THE ELEVATOR  
 AS APPROVED IN 2010 FOR PHASE TWO DEVELOPMENT UNDER TOWN OF MISSISSIPPI MILLS COMPREHENSIVE ZONING BY-LAW - SECTION 14.4 (B)

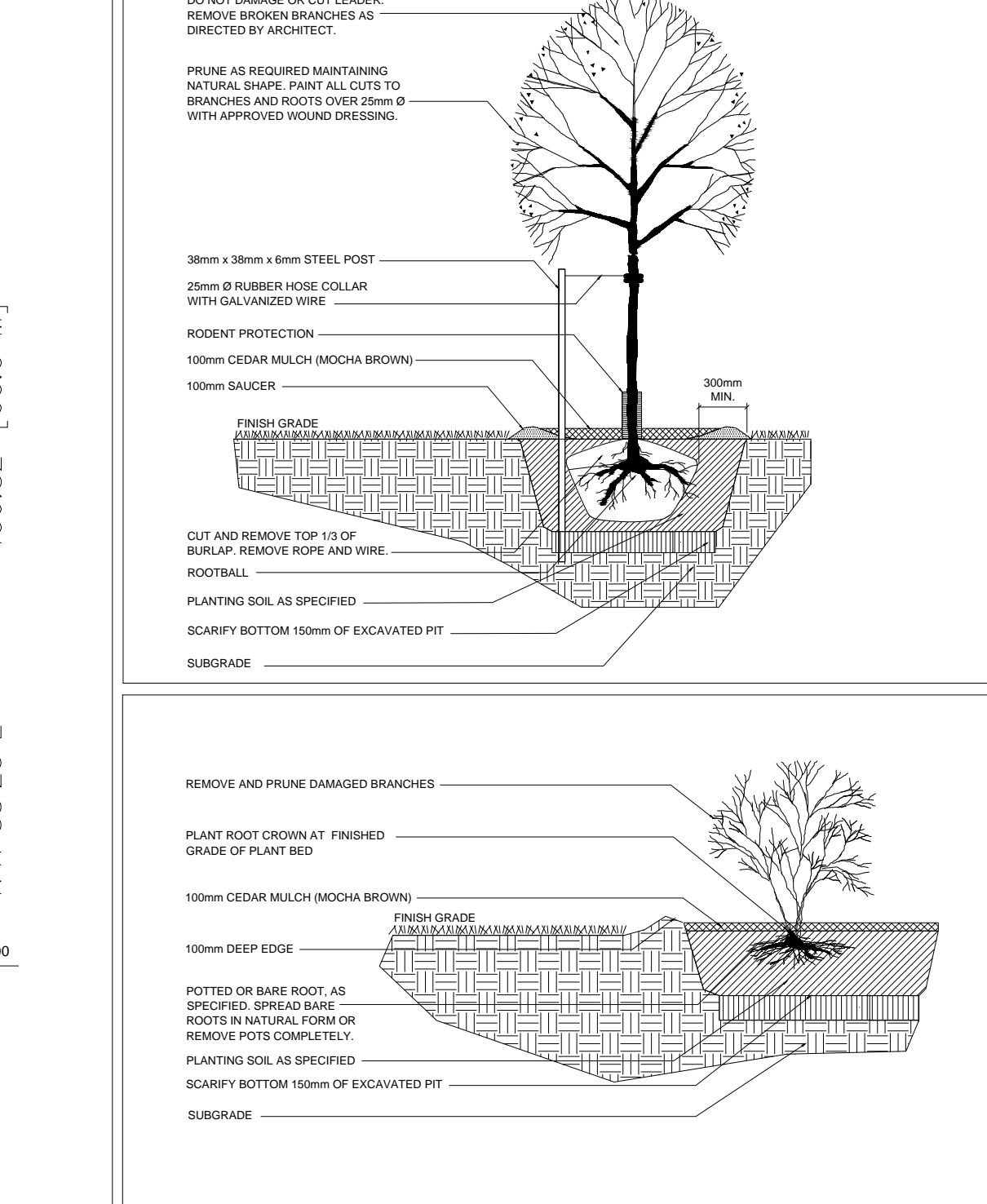
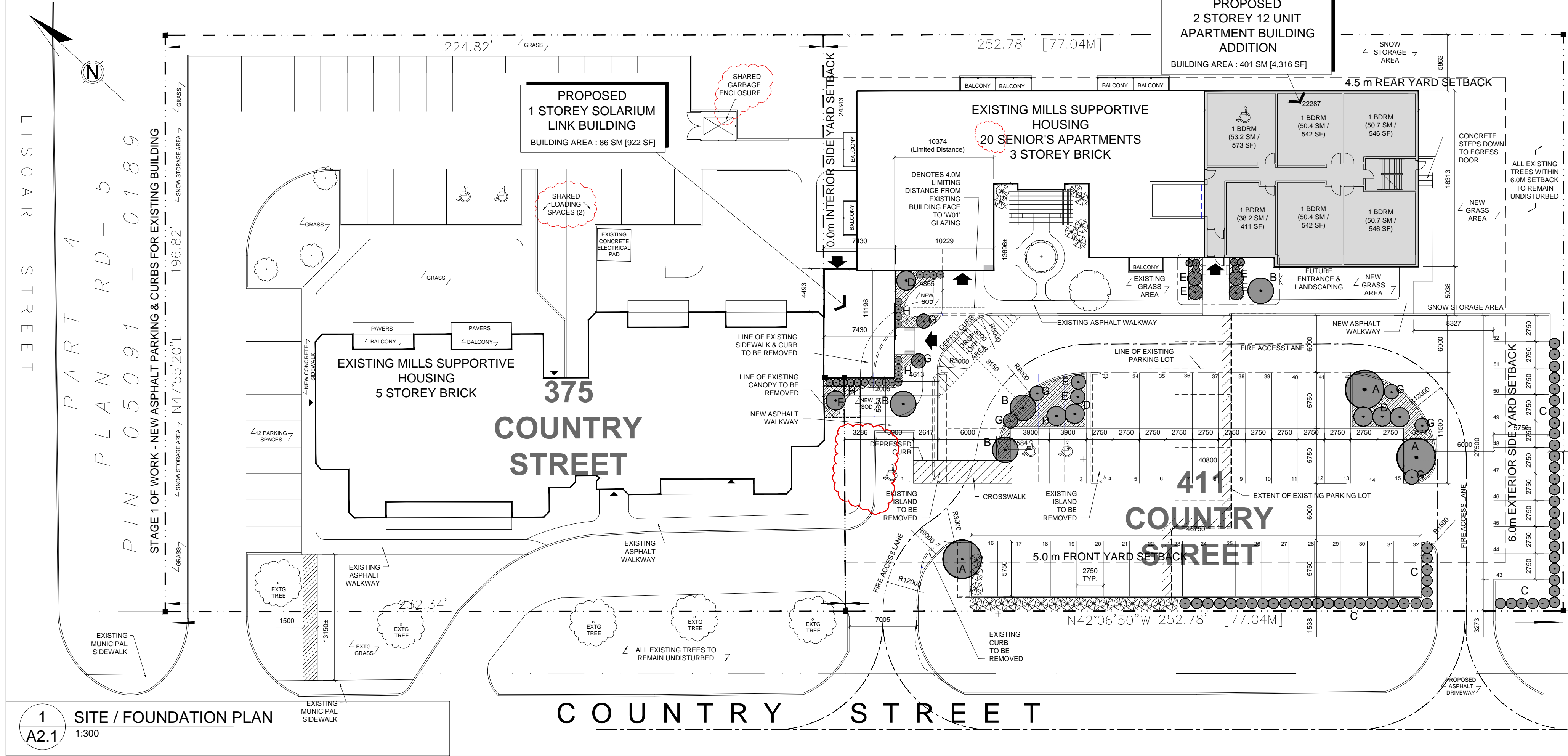
**PARKING REQUIREMENTS FOR PROPOSED NEW SOLARIUM LINK BUILDING:**  
 PLACE OF ASSEMBLY PARKING REQUIRED - REGULAR + 8 + 8 SPACES  
 PARKING SPOTS PROVIDED FOR FUTURE 12 UNIT 2 STOREY APARTMENT BUILDING: 43 REGULAR PARKING SPOTS + 3 HANDICAPPED + 48 SPACES

### LANDSCAPE PLANTING SCHEDULE

TAG	TYPE	NAME	SPECIES	QUANTITY	SIZE	REMARKS
A	DECIDUOUS TREE	RED MAPLE	ACER RUBRUM	4	750mm	CLN
B	DECIDUOUS TREE	SHADE MASTER LOCUST	GLUCIADIA TRICANTHOS NERMES	4	750mm	TRANSPLANT EXISTING TWO TREES FROM ISLAND
C	CONIFEROUS TREE	CEDAR	COMMON FELD CEDAR	61	HT+1.2m	
D	SHRUB	SHADELOW SERVICEBERRY	AMELANCHER CANDENSIS	6	HT+1.0m	
E	SHRUB	VERGATED LEAF DOGWOOD	CORNUS ALBA 'ELGANTISSIMA'	6	HT+1.0m	
F	SMALL TREE	PURPLE LILAC	SYRINGA VALGURUS	1	HT+1.5m	
G	SHRUB	FORSYTHIA	NORTHERN GOLD FORSYTHIA	7	HT+1.0m	
H	SHRUB	SPIREA	WHITE (BRIDAL WREATH)	22	HT+0.3m	

### LANDSCAPE PLANTING SCHEDULE

TAG	TYPE	NAME	SPECIES	QUANTITY	SIZE	REMARKS
A	DECIDUOUS TREE	SUGAR MAPLE	ACER SACCHARUM	7	2000	R & B SINGLE STEM
B	CONIFEROUS TREE	WHITE SPRUCE	PICEA GLAUCA	14	1800	HEIGHT - 8.8M
C	DECIDUOUS SHRUB	BURNING BUSH	EUROSA LANCEOLA	7	800	POTTED
D	DECIDUOUS SHRUB	ANTHONY WATERER SPIREA	SPIREA BANALDA ANTHONY WATERER	20	800	POTTED, SWAY-DIC
E	CONIFEROUS SHRUB	CRESTED JUNIPER	JUNIPERUS HORIZONTALIS	24	200	POTTED, SWAY-DIC
F	PERENNIAL	WILD GERANIUM	GERANIUM MOLLIATUM	5	200	POTTED, SWAY-DIC



### LANDSCAPE PLANTING SCHEDULE

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F	PERENNIAL	WILD GERANIUM	GERANIUM MOLLIATUM	5	200	POTTED, SWAY-DIC

No.: 1501  
 Date: Nov 23-2017

01 For Review  
 02 For Permit & Site Plan Appln  
 03 Revisions - Town of MM Comments  
 04 Revisions - Town of MM Comments  
 05 Revisions - Town of MM Comments

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect.

All Contractors must comply with pertinent codes & by-laws.

Do not scale drawings. This drawing may not be used for construction until signed. Architect's copyright reserved.

Metric Scale Drawing: All measurements are in millimeters (mm) unless otherwise noted.

Symbol Legend:

Site Map:

Project North Arrow:

Actual North Arrow:

Architect:

**Peter Mansfield, Architect**  
 B. Tech., M. Arch., O.A.A.  
 122 Bridge Street, Almonte, ON  
 613-256-5213

Project Title:  
 Proposed 12 Unit Extension to Existing Apartment Bldg,  
 411 Country Street, Almonte, ON

Drawing List:  
 Drawing List / OBC MATRIX / Key Plan

Job No.: 1501  
 Scale: As Noted  
 Date: Feb 07-2018  
 Drawn By: PM  
 Reviewed By: PM

A1.0