



ADDENDUM

Addendum No.	01 (Architectural Only)
Pages	<u>2</u>
Project No.	1501
Date:	March 02, 2018
Project:	Proposed One Storey Link, 411 Country Street, Almonte and Proposed Three Storey 12 Unit Extension to Existing Apartment Building, 411 Country Street, Almonte

The following information supplements and/or supersedes the bid documents issued on Nov 27, 2017 (One Storey Link) & Feb 15, 2018 (Three Storey Extension to Existing Apartment Building).

This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof.

Proposed One Storey Link

- 1.1 Refer to Drawing A1.0: Disregard Site Plan and Landscape Planting Schedule. Refer to Drawing A1.0 of Architectural drawings for Proposed Three Storey 12 Unit Extension for Site Plan and Landscape Planting Schedule.
- 1.2 Refer to Drawing A2.2, Window Schedule: Refer to Window Type Elevations for all window heights. For 'W04', window height is 2918mm.
- 1.3 Refer to Drawing A2.2: Room Finishes are as follows:
 - Sunroom [Room 01]:
 - Flooring: Sheet Vinyl: Expona, 'Commercial Wood', 1904 Nut Tree
 - Walls: P-1: Primer + 2 Coats: SICO Semi-Gloss (Colour to match adjacent 'Stan Mills Lounge' at 375 Country Street)
 - Baseboard: RB-1: 4" Rubber by 'Johnsonite'. Colour: 47-Brown
 - Ceiling (Gypsum): P-3: Primer + 2 Coats: SICO Latex Ceiling Paint (with Pink Dye), Flat, Product Code: 711-116
 - Ceiling (S.A.T.): 24"x48" Ultima Tegular Panels (By 'Armstrong') with Thinline Suspension System (White).
 - Ceiling (Glulam Beams):
 - Interior: 2 Coats Sansin Purity, Clear
 - Exterior: 2 Coats Sansin ENS, Clear
 - Hallway [Room 02]:
 - Flooring: Sheet Vinyl: Expona, 'Commercial Wood', 1904 Nut Tree
 - Walls: P-1: Primer + 2 Coats: SICO Semi-Gloss (Colour to match adjacent 'Stan Mills Lounge' at 375 Country Street)
 - Baseboard: RB-1: 4" Rubber by 'Johnsonite'. Colour: 47-Brown
 - Ceiling (Gypsum):

P-3: Primer + 2 Coats: SICO Latex Ceiling Paint (with Pink Dye), Flat, Product Code: 711-116

- 1.4 Refer to Drawing A2.1, Floor Plan 1/A2.1: General Note: "Any difference in T/O floor slab elevation of Proposed Link and T/O floor slab elevation of Existing 20 Unit Apartment Building to be accommodated by feathering T/O slab elevation on either side of door 'D02' as required".

Proposed Three Storey 12 Unit Extension to Existing Apartment Building

- 1.5 Refer to Drawing A1.0, Landscape Planting Schedule: Revise quantity of Red Maples to 3, revise quantity of Cedars to 57 and revise quantity of Spirea to 28. Note: Three unidentified plants on either side of main entrance door to proposed 12 unit extension to existing apartment building to be labelled 'H' (Spirea).
- 1.6 Refer to Drawing A2.0, 1/A2.0 Foundation Plan; Refer to Structural Drawing S100 for foundation pier and footing at intersection gridlines '1' and 'D'.
- 1.7 Refer to Drawing A2.3, Extruded Vinyl Window Schedule: Windows G06 through G33 to be equipped with opening limiting device to restrict opening of awning to 100mm.
- 1.8 Refer to Drawings A2.0, A2.1, A2.2, A4.0 and A4.1), Assemblies: For Assembly 'F-3': TJI 14" Pre-engineered floor joists' are to be replaced with '14" pre-engineered NASCOR floor joists'.
- 1.9 Refer to Drawings A2.3, 'Unit Finish Type Schedule' and 'Trim Elevations': These are to be replaced with Finish Schedule shown on ASK-1 (attached).
- 1.10 Refer to ASK-2 (attached) for Millwork Drawings. Note that this drawing is also referred to as 'A5.0' for the purposes of referencing notes and tags on existing architectural drawings. Refer also to ASK-2 for Section Details 13/A5.0, 14/A5.0 and 15/A5.0.
- 1.11 Refer to Drawing A3.1, 1/A3.1 East Elevation: This drawing is to be replaced with with ASK-3 (attached).
- 1.12 Refer to ASK-4 (attached) for Partial Reflected Ceiling Plan.
- 1.13 Refer to ASK-5 (attached) for Partial Building Section showing revisions to Building Section 1/A4.1.

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- Attached:
1. ASK-1: Finish Schedule-For Addendum No. 01-March 02-2018.
 2. ASK-2: Millwork Drawings and Section Details-For Addendum No. 01-March 02-2018.
 3. ASK-3: East Elevation-For Addendum No. 01-March 02-2018.
 4. ASK-4 & 5: Partial Reflected Ceiling Plans (Main & Second Floor)-For Addendum No. 01-March 02-2018.
 5. ASK-6: Partial Building Section- For Addendum No. 01-March 02-2018.
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Addendum By:



Peter Mansfield Architect

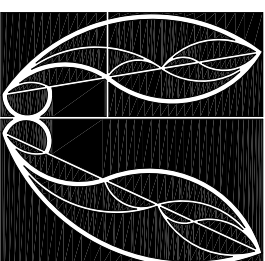
End of Addendum No. 01

FINISH SCHEDULE

IDENTIFICATION	FINISH					TRIMS				REMARKS	TRIM ELEVATIONS			
	ROOM NUMBER	NAME	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	FLOOR	CEILING	BASEBOARD			WINDOW SILL	WINDOW CASING	DOOR CASING
	101	ENTRY	P-1	P-1	P-1	P-1	CT-1	S.A.T.	CT-2	N/A	N/A	N/A	-	
	102	CORRIDOR (MAIN FLR.)	P-1	P-1	P-1	P-1	SHT-VL	S.A.T.	RB-1	N/A	N/A	N/A	-	
	103	WASHROOM	P-1	P-1	P-1	P-1	SHT-VL	P-3	RB-1	N/A	N/A	N/A	-	
	104	LAUNDRY	P-1	P-1	P-1	P-1	SHT-VL	S.A.T.	RB-1	N/A	N/A	N/A	-	
	105	JANITOR	P-1	P-1	P-1	P-1	SHT-VL	P-3	RB-1	N/A	N/A	N/A	-	
	106	CORRIDOR (SECOND FLR.)	P-1	P-1	P-1	P-1	SHT-VL	S.A.T.	RB-1	N/A	N/A	N/A	-	
	201	STAIRWELL	P-1	P-1	P-1	P-1	SHT-VL	P-3	RB-1	N/A	N/A	N/A	-	
	A	ENTRY	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	N/A	N/A	WD-2	-	
	B	COAT CLOSET	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	N/A	N/A	WD-2	-	
	C	KITCHEN	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	N/A	N/A	WD-2	-	
	D	DINING	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	WD-3 / P-4	WD-3	WD-2	-	
	E	LIVING ROOM	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	WD-3 / P-4	WD-2 / P-4	WD-2	-	
	F	BATHROOM	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	N/A	N/A	WD-2	-	
	G	BEDROOM	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	WD-3 / P-4	WD-2 / P-4	WD-2	-	
	H	CLOSET	P-2	P-2	P-2	P-2	SHT-VL	P-3	WD-1	N/A	N/A	WD-2	-	

LEGEND:

- P-1 - PRIMER + 2 COATS: SICO - YING YANG - 6222-52, SEMI-GLOSS
- P-2 - PRIMER + 2 COATS: SICO - CHANTERELLE BEIGE - 6185-41, SEMI-GLOSS
- P-3 - PRIMER + 2 COATS: SICO - LATEX CEILING PAINT (WITH PINK DYE), FLAT, PRODUCT CODE: 711-116
- P-4 - PRIMER + 2 COATS: SICO - (COLOUR TBD), TRIM PAINT, GLOSS
- CT-1 - 12"x24" OLYMPIA TILE, LA SPEZIA SERIES - SEMI POLISHED 'SAGE'. TILE TO BE SET IN RUNNING BOND PATTERN WITH LONG 24" DIMENSION PARALLEL WITH ENTRY DOOR
- CT-2 - 4"x12" OLYMPIA TILE, LA SPEZIA SERIES - SEMI POLISHED 'SAGE'.
- RB-1 - 4" RUBBER BASE BY 'JOHNSONITE'. COLOUR: 47-BROWN
- SAT - 600X1200 ULTIMA TEGULAR PANELS (BY ARMSTRONG) WITH THINLINE SUSPENSION SYSTEM



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Project Title:
 Proposed 12 Unit Extension to Existing Apartment Building
 The Mills, 411 Country Street, Almonte

Drawing List:
 Finish Schedule

Job No.:	1501	DWG No.	ASK-1
Scale:	NTS		
Date:	March 02-2018		
Drawn By:	Checked By:		
PM	PM		

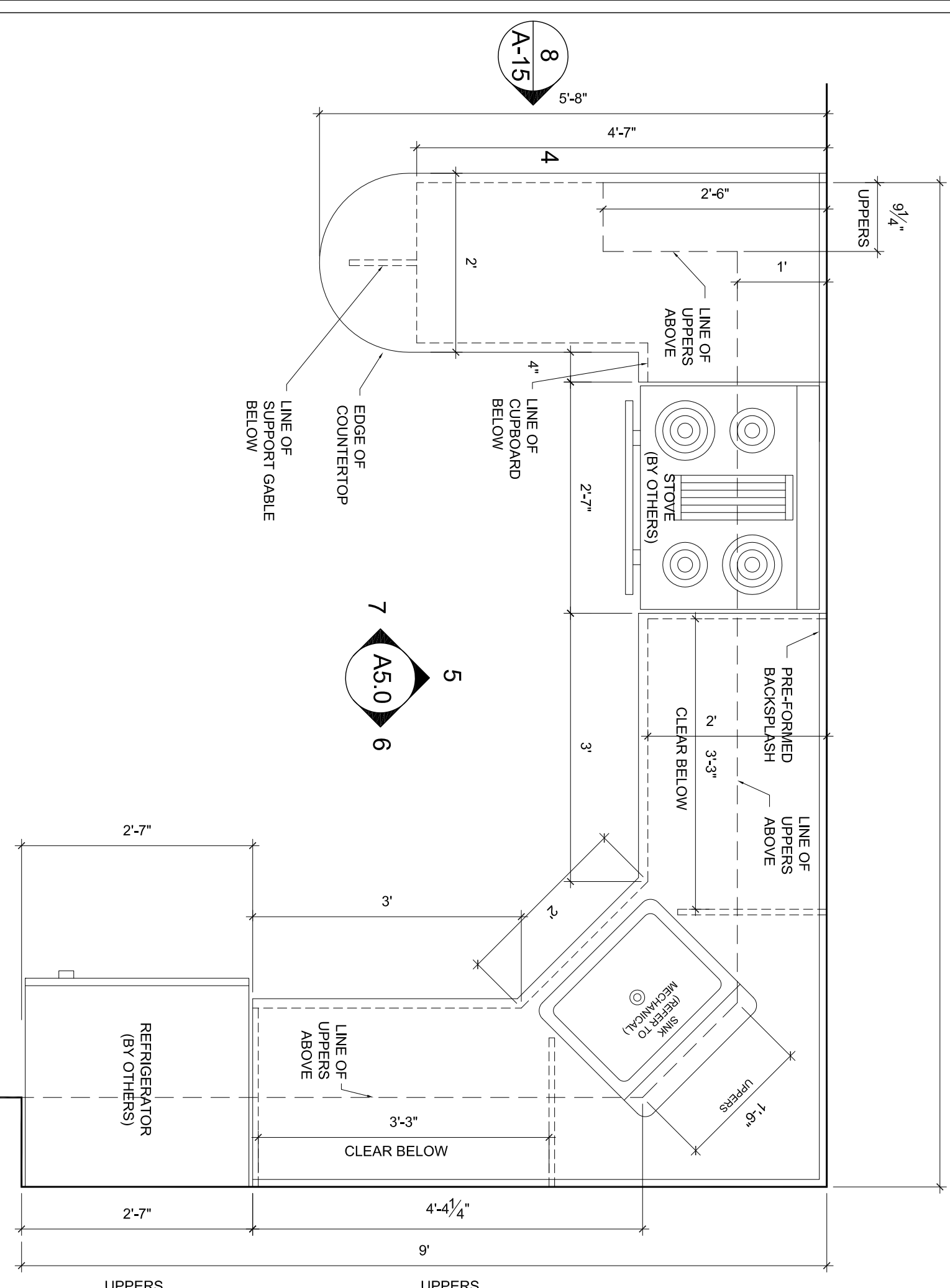
1 For Tender - Addendum No. 1 March 02-2018

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect.

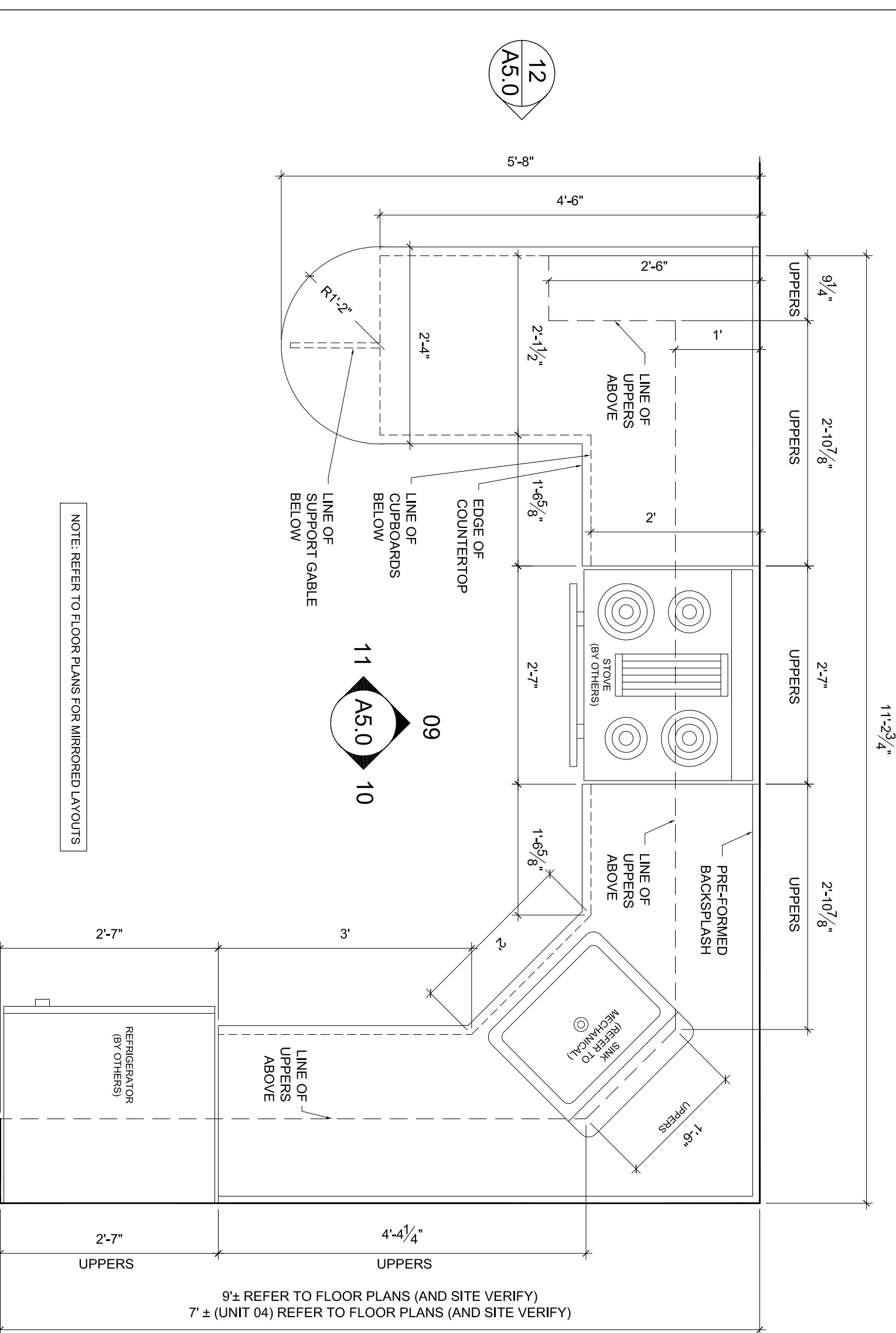
All Contractors must comply with pertinent codes & by-laws.

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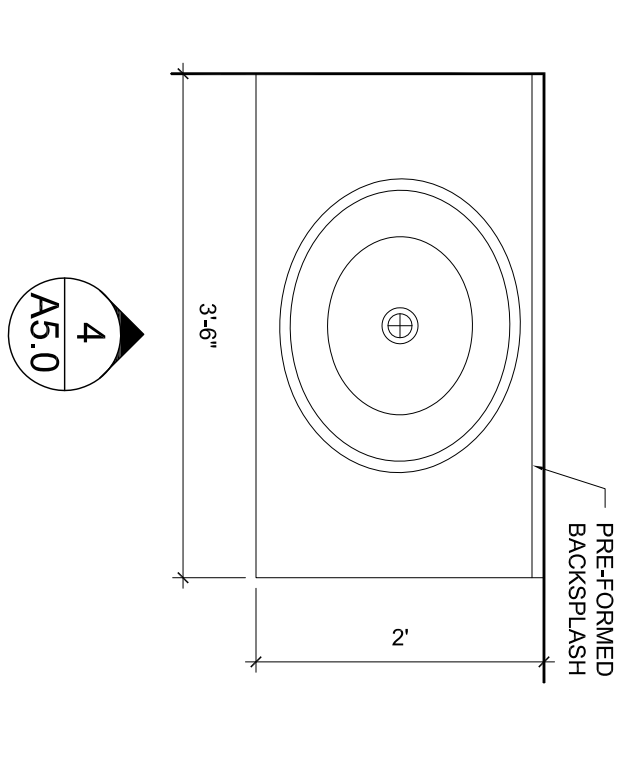
11'-2 1/2" REFER TO FLOOR PLANS (AND SITE VERIFY)



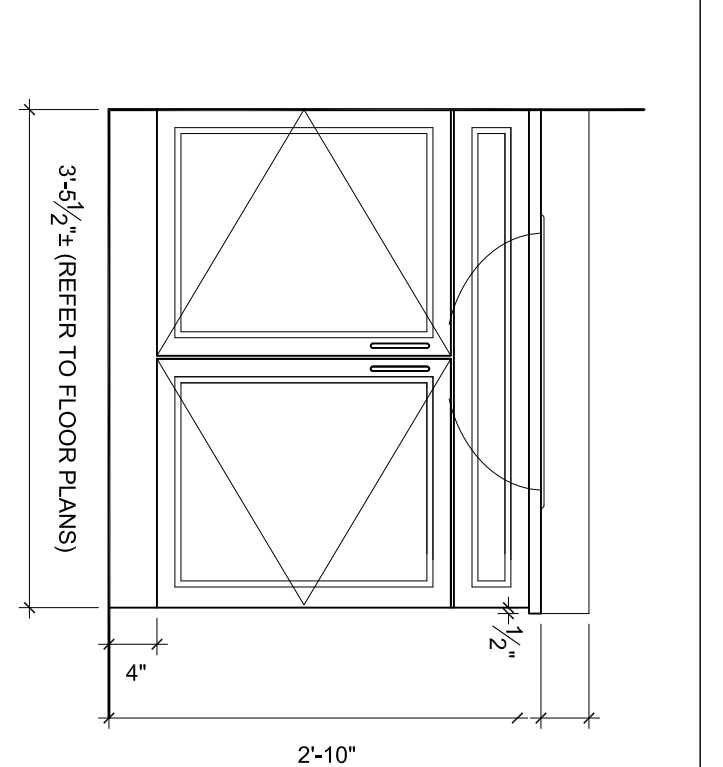
1 ENLARGED BARRIER-FREE KITCHEN PLAN - UNIT 01
SCALE 1/4" = 1'-0"



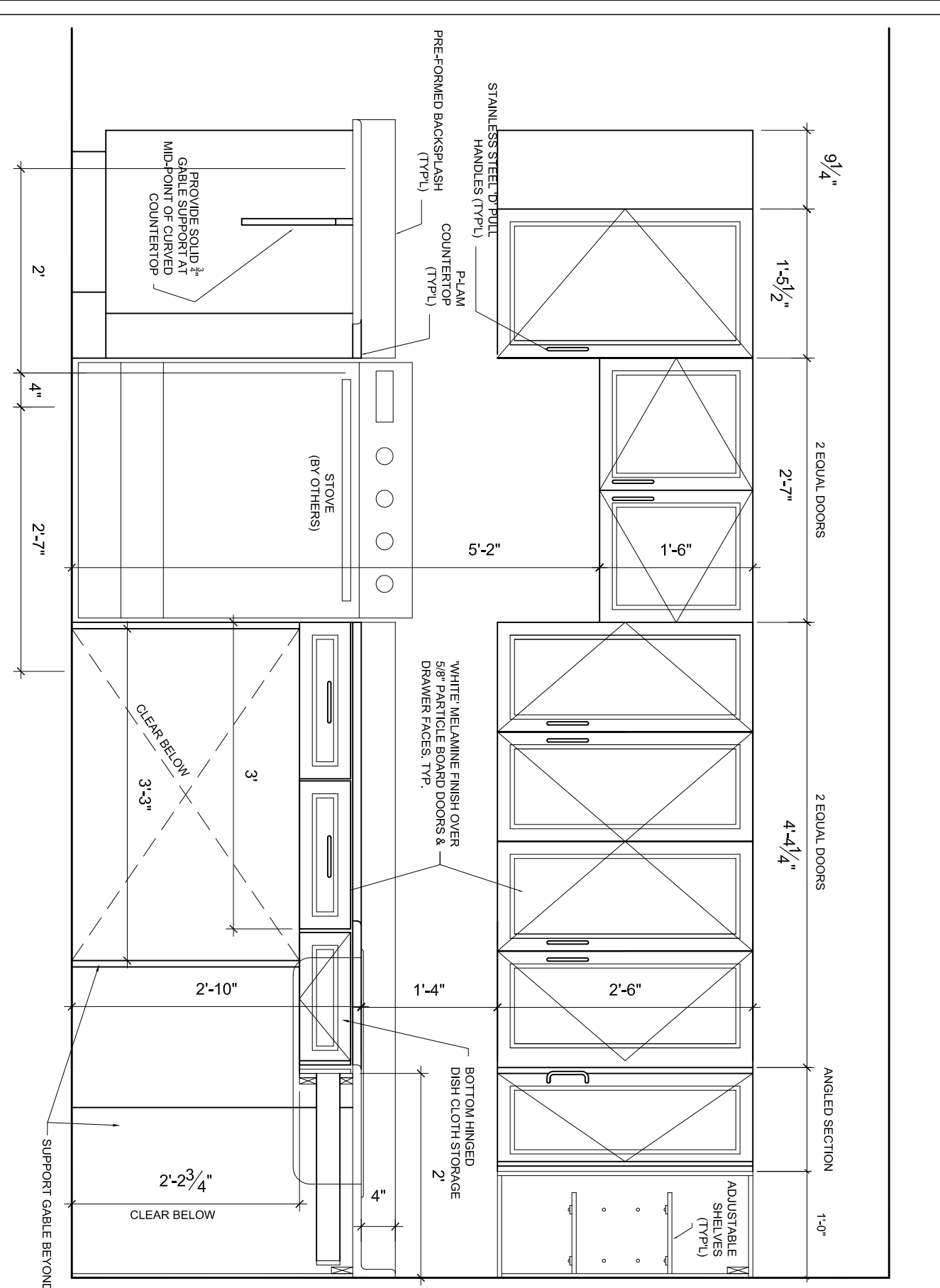
2 ENLARGED KITCHEN PLAN (TYPICAL UNIT EXCLUDING UNIT 01)
SCALE 1/4" = 1'-0"



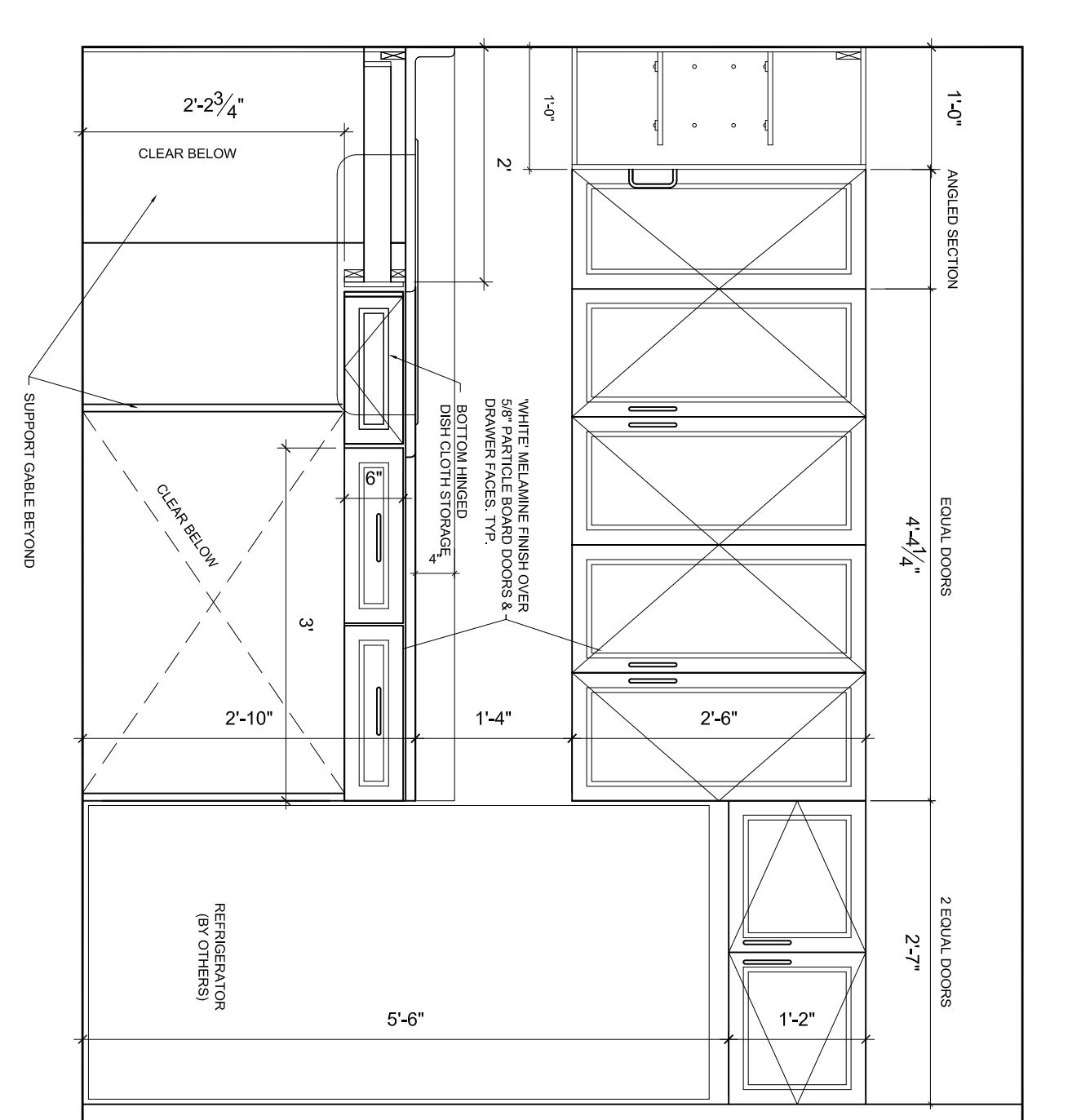
3 ENLARGED PLAN OF BATHROOM VANITY
SCALE 1/4" = 1'-0"



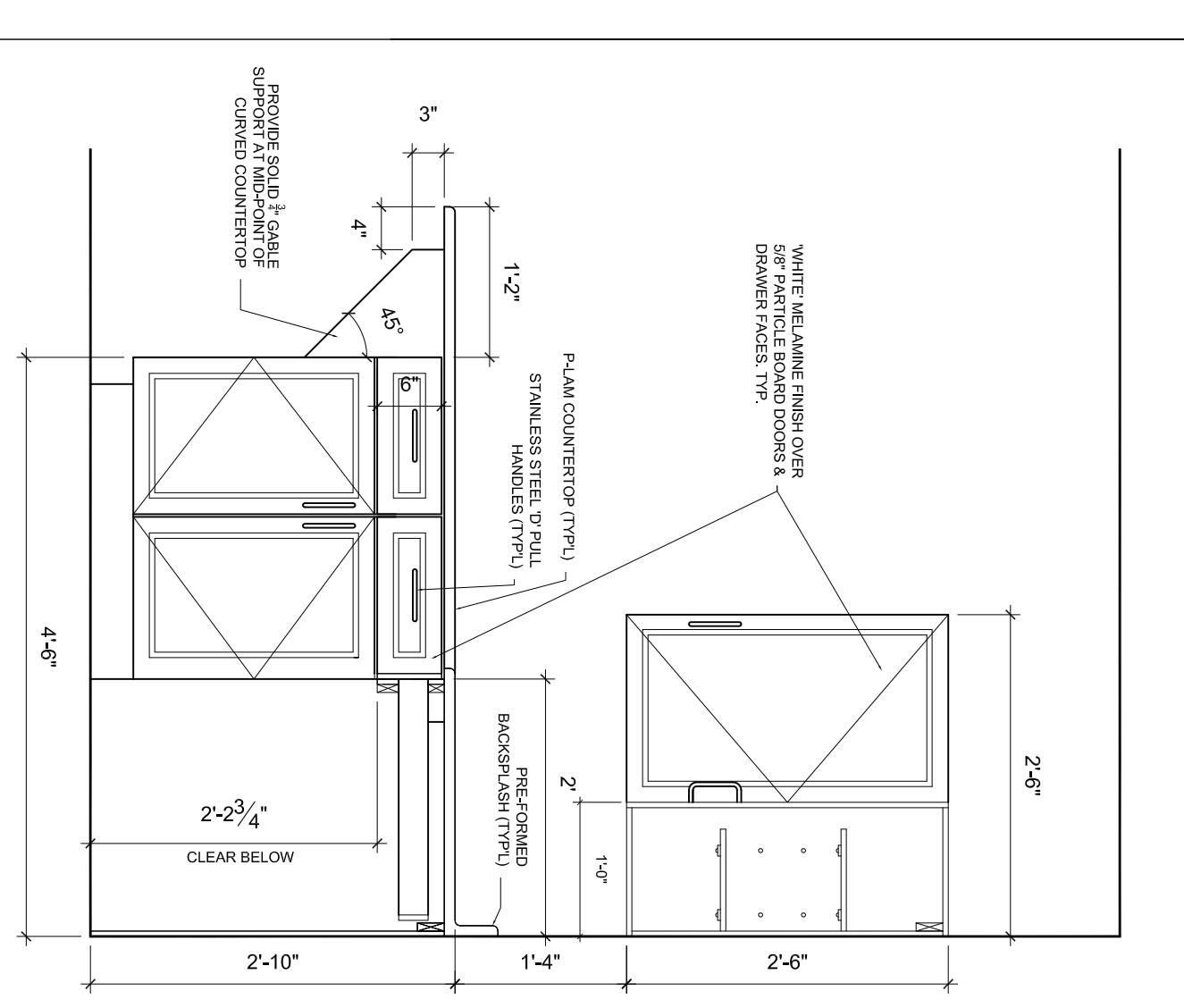
4 ELEVATION
SCALE 1/4" = 1'-0"



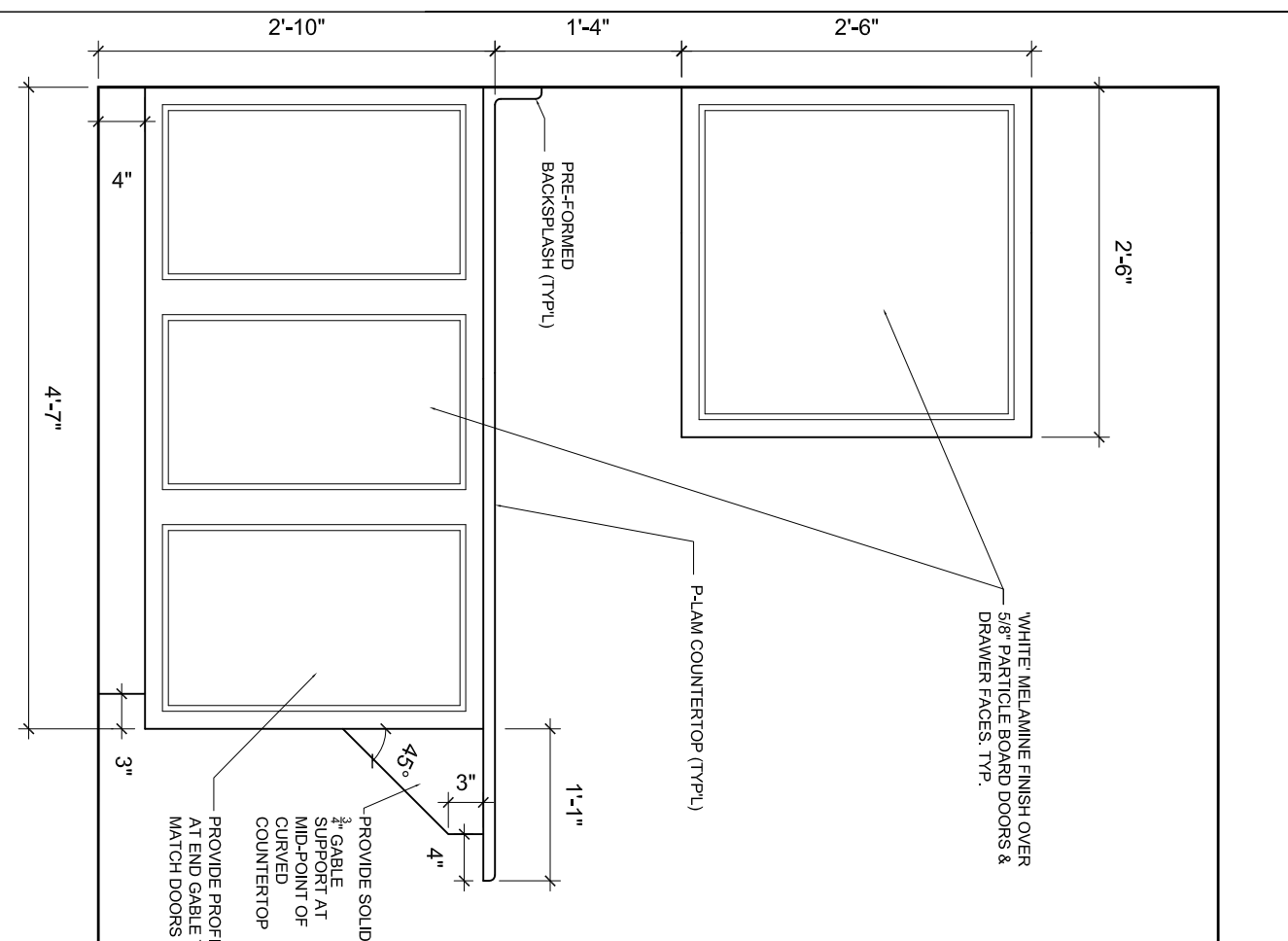
5 ELEVATION (UNIT 01)
SCALE 1/4" = 1'-0"



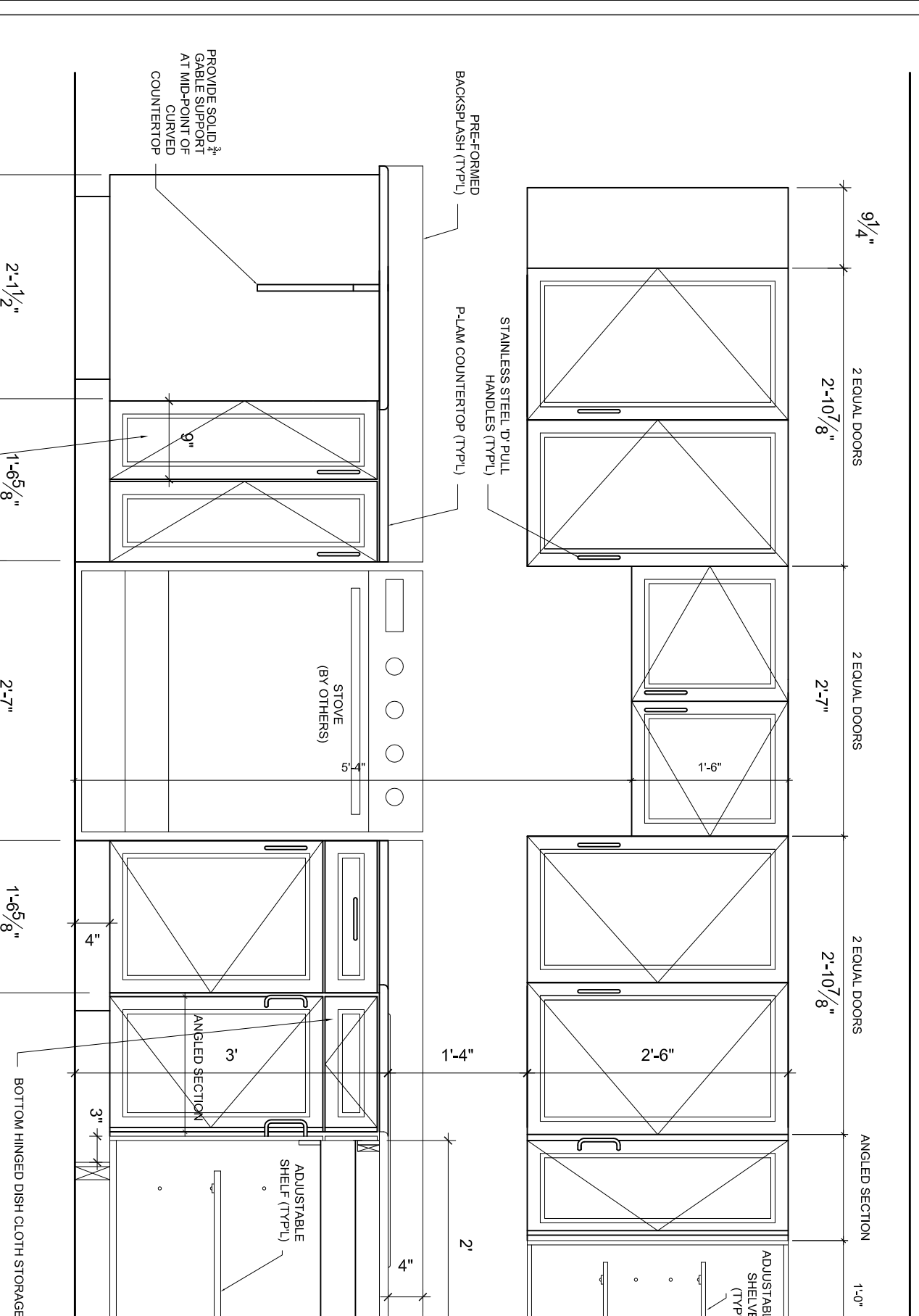
6 ELEVATION (UNIT 01)
SCALE 1/4" = 1'-0"



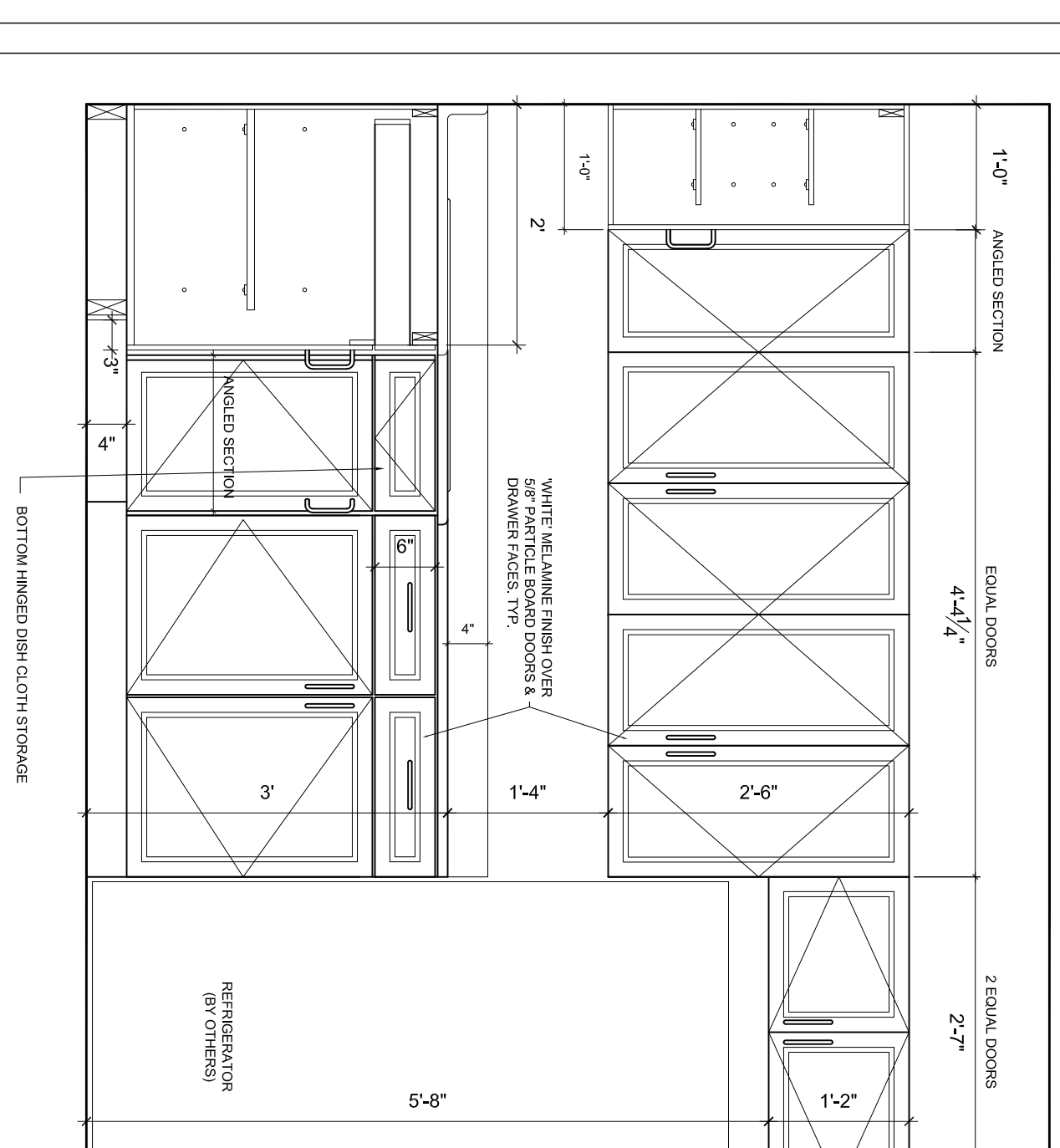
7 ELEVATION (UNIT 01)
SCALE 1/4" = 1'-0"



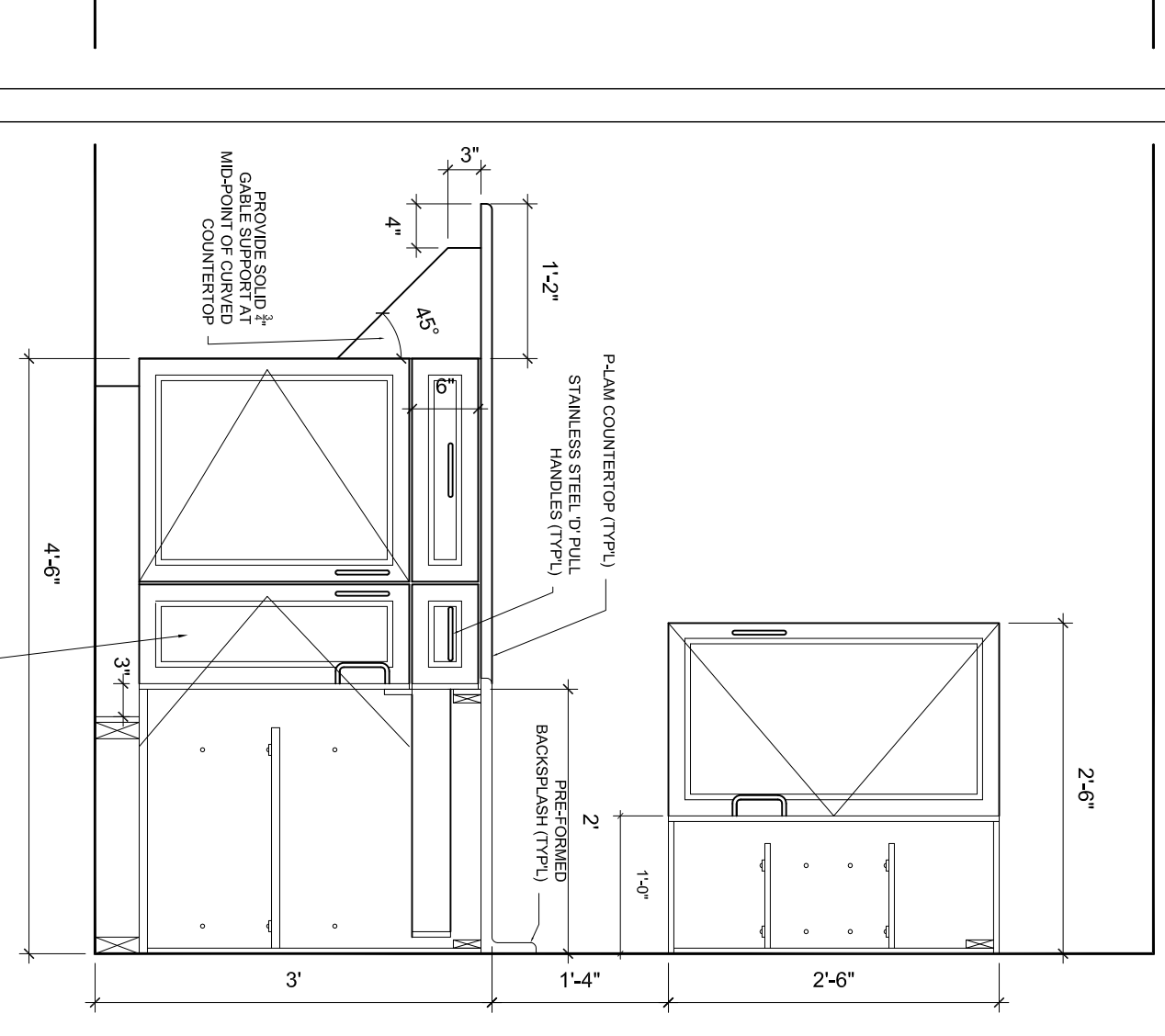
8 ELEVATION
SCALE 1/4" = 1'-0"



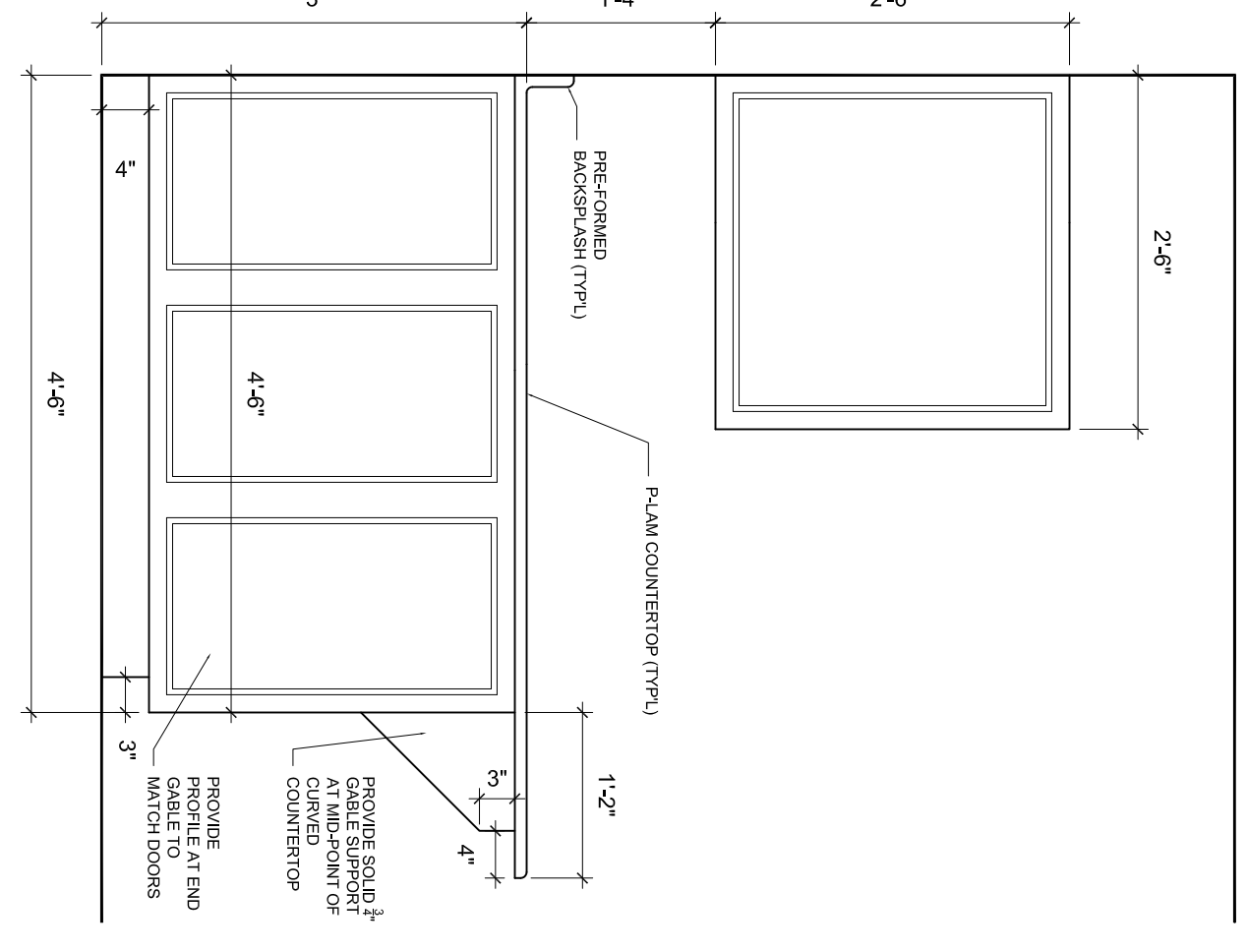
9 ELEVATION
SCALE 1/4" = 1'-0"



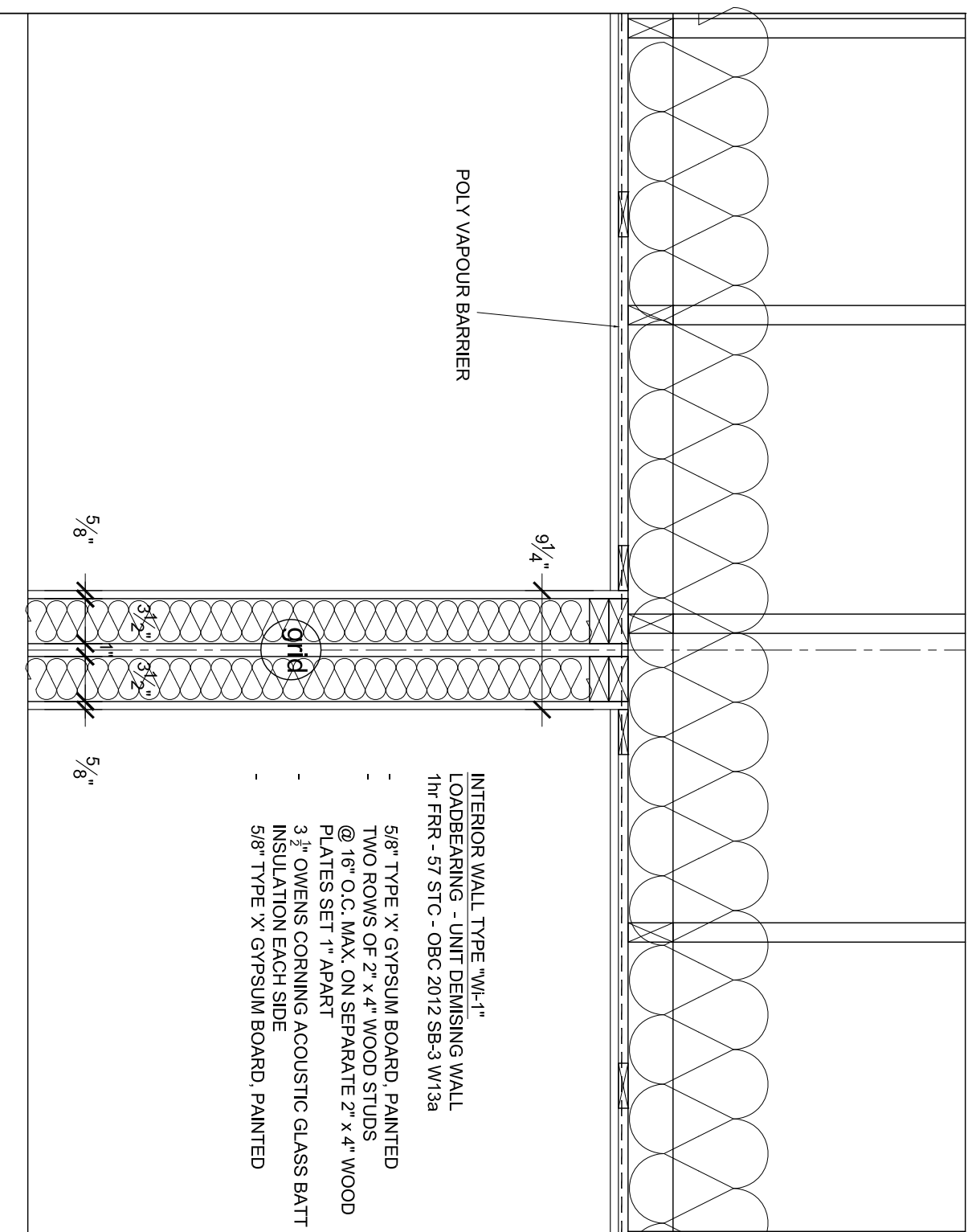
10 ELEVATION
SCALE 1/4" = 1'-0"



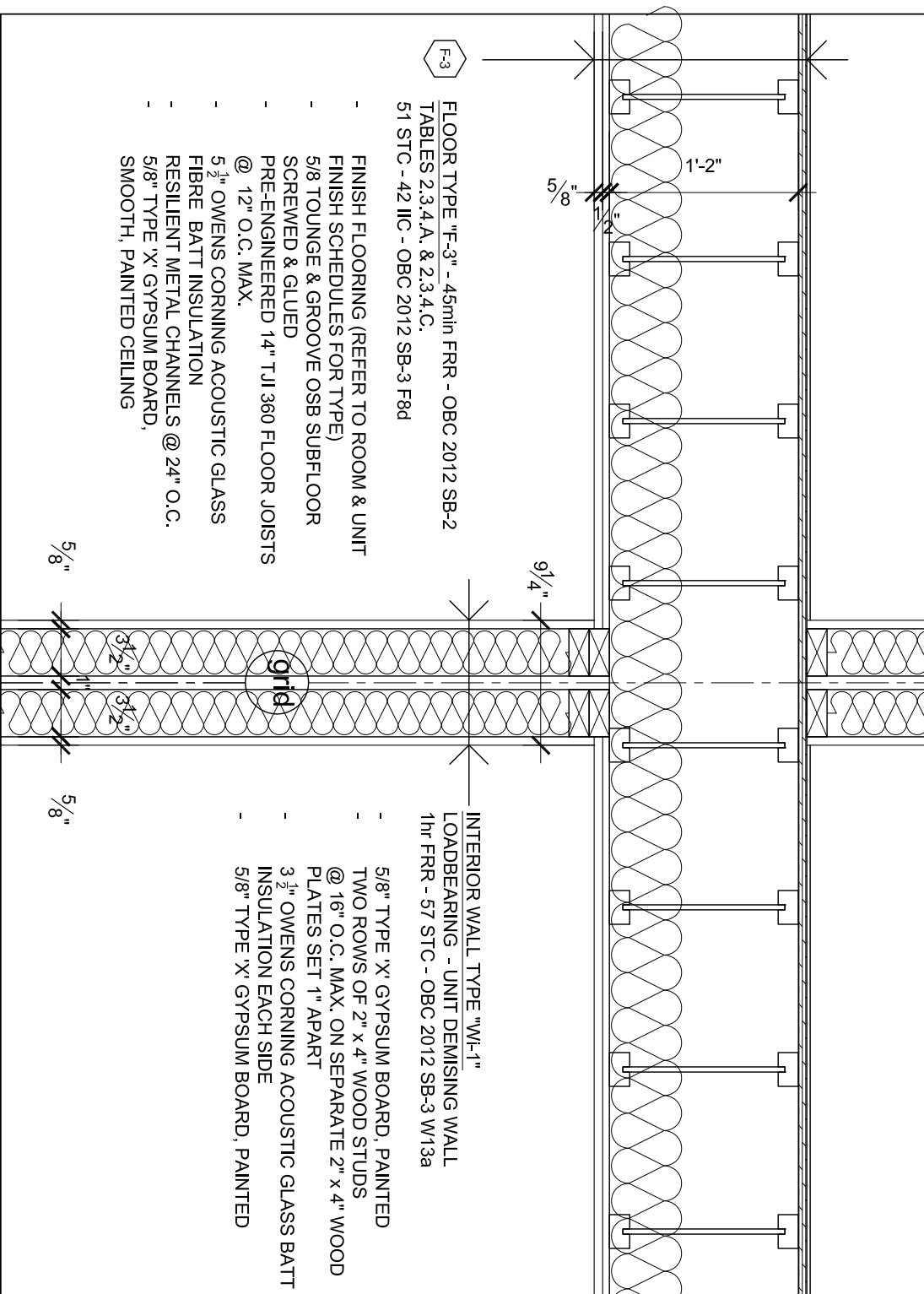
11 ELEVATION
SCALE 1/4" = 1'-0"



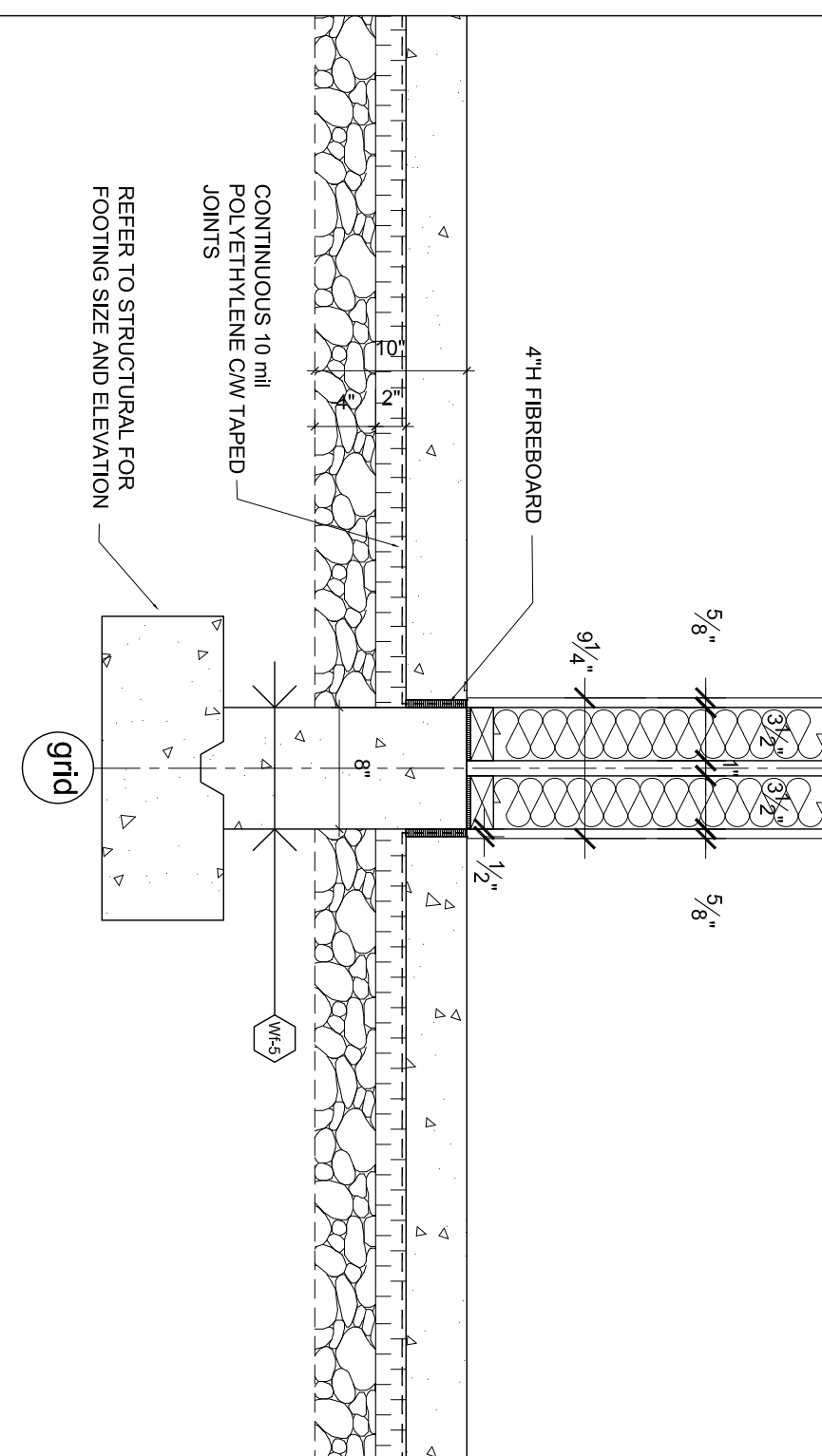
12 ELEVATION
SCALE 1/4" = 1'-0"



13 Detail
SCALE 1" = 1'-0"



14 Detail
SCALE 1" = 1'-0"



15 Detail
SCALE 1" = 1'-0"

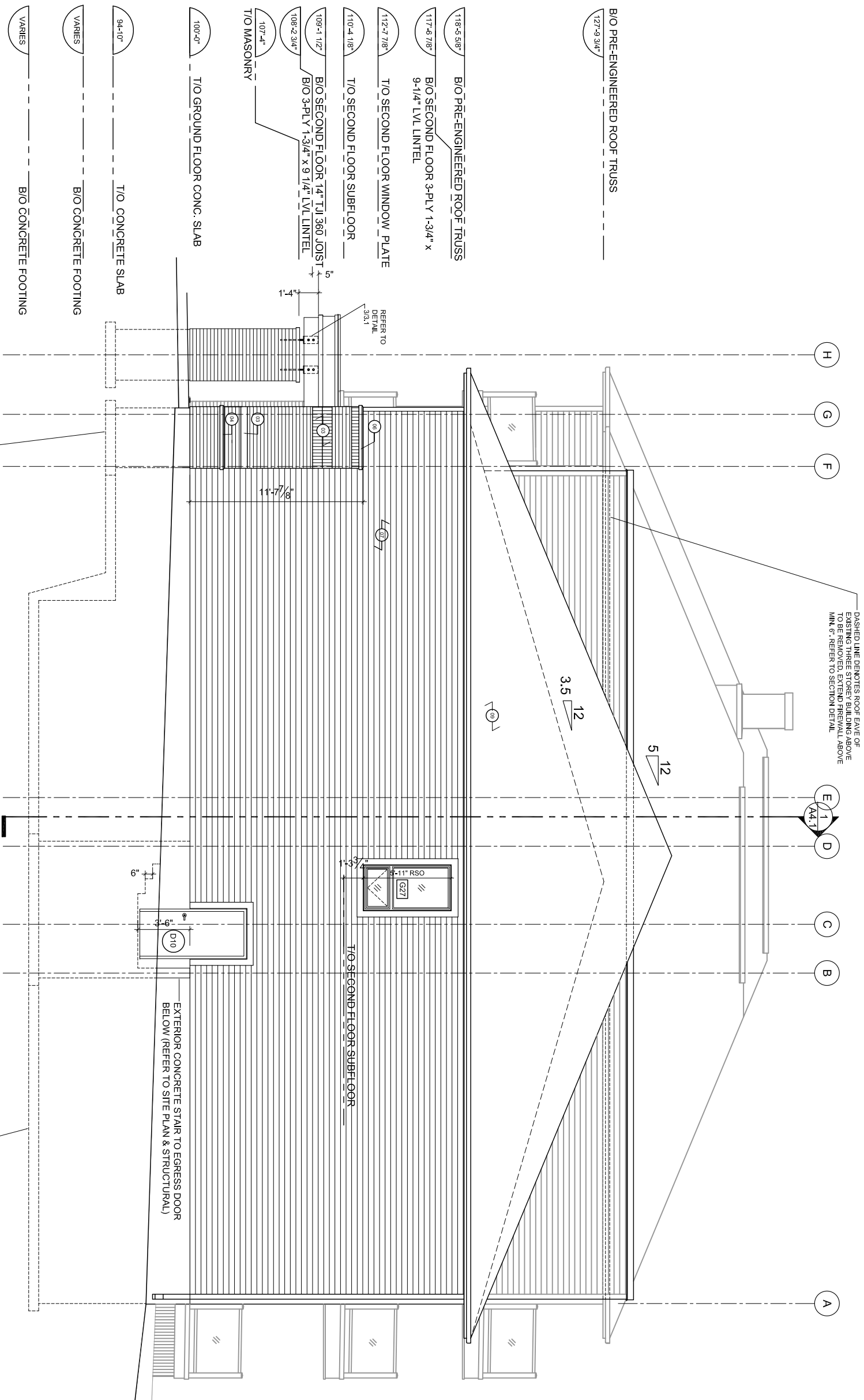
1. The Contractor shall be responsible for the construction of the building and shall report all errors and omissions to the Architect. The Contractor shall be responsible for the construction of the building and shall report all errors and omissions to the Architect. The Contractor shall be responsible for the construction of the building and shall report all errors and omissions to the Architect.



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ASK-2 (A5.0)
Scale: As Shown
Date: Jan 2016
Drawn By: [Name]
Checked By: [Name]

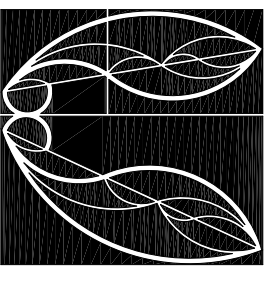


1 For Tender - Addendum No. 1 March 02-2018

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect.

All Contractors must comply with pertinent codes & by-laws.

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Project Title:
 Proposed 12 Unit Extension to Existing Apartment Building
 The Mills, 411 Country Street, Amonte

Drawing List:
 East Elevation

Job No.: 1501 **DWG No.:**

Scale: NTS

Date: March 02-2018

Drawn By: PM **Checked By:** PM

ASK-3

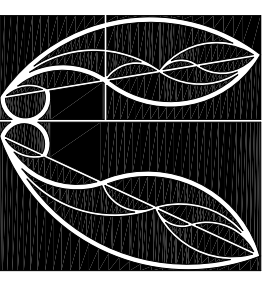
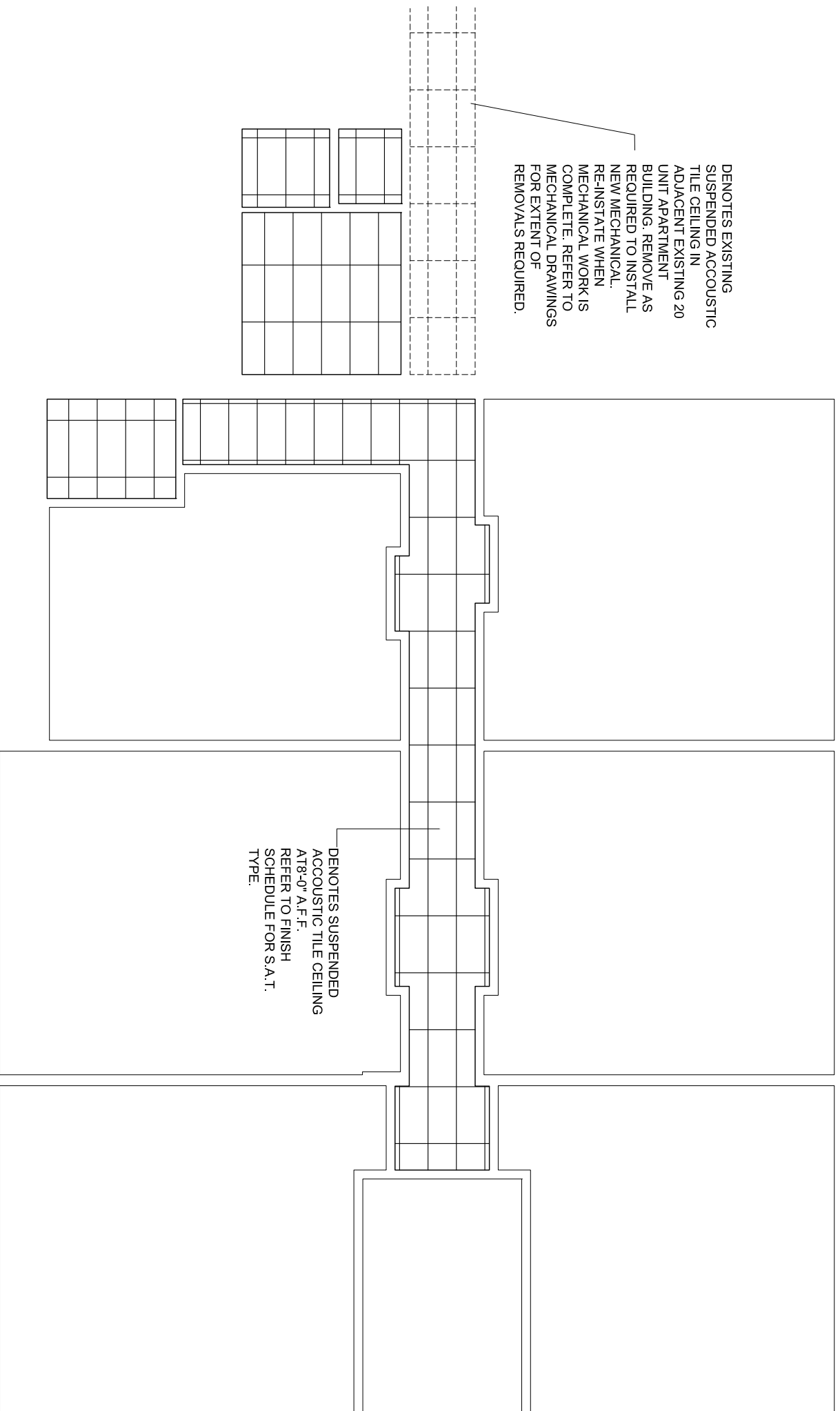
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DENOTES EXISTING
SUSPENDED ACCOUSTIC
TILE CEILING IN
ADJACENT EXISTING 20
UNIT APARTMENT
BUILDING. REMOVE AS
REQUIRED TO INSTALL
NEW MECHANICAL.
RE-INSTALL WHEN
MECHANICAL WORK IS
COMPLETE. REFER TO
MECHANICAL DRAWINGS
FOR EXTENT OF
REMOVALS REQUIRED.

DENOTES SUSPENDED
ACCOUSTIC TILE CEILING
AT 8'-0" A.F.F.
REFER TO FINISH
SCHEDULE FOR S.A.T.
TYPE.



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Project Title:

Proposed 12 Unit Extension to Existing Apartment Building
The Mills, 411 Country Street, Almonte

Drawing List:

Partial Reflected Ceiling Plan - Main Floor

Job No.: 1501 DWG No.

Scale: NTS **ASK-4**

Date: March 02-2018

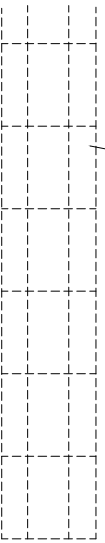
Drawn By: PM Checked By: PM

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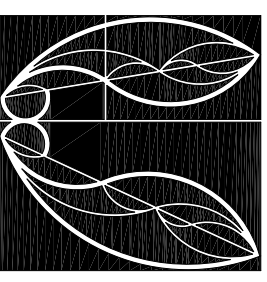
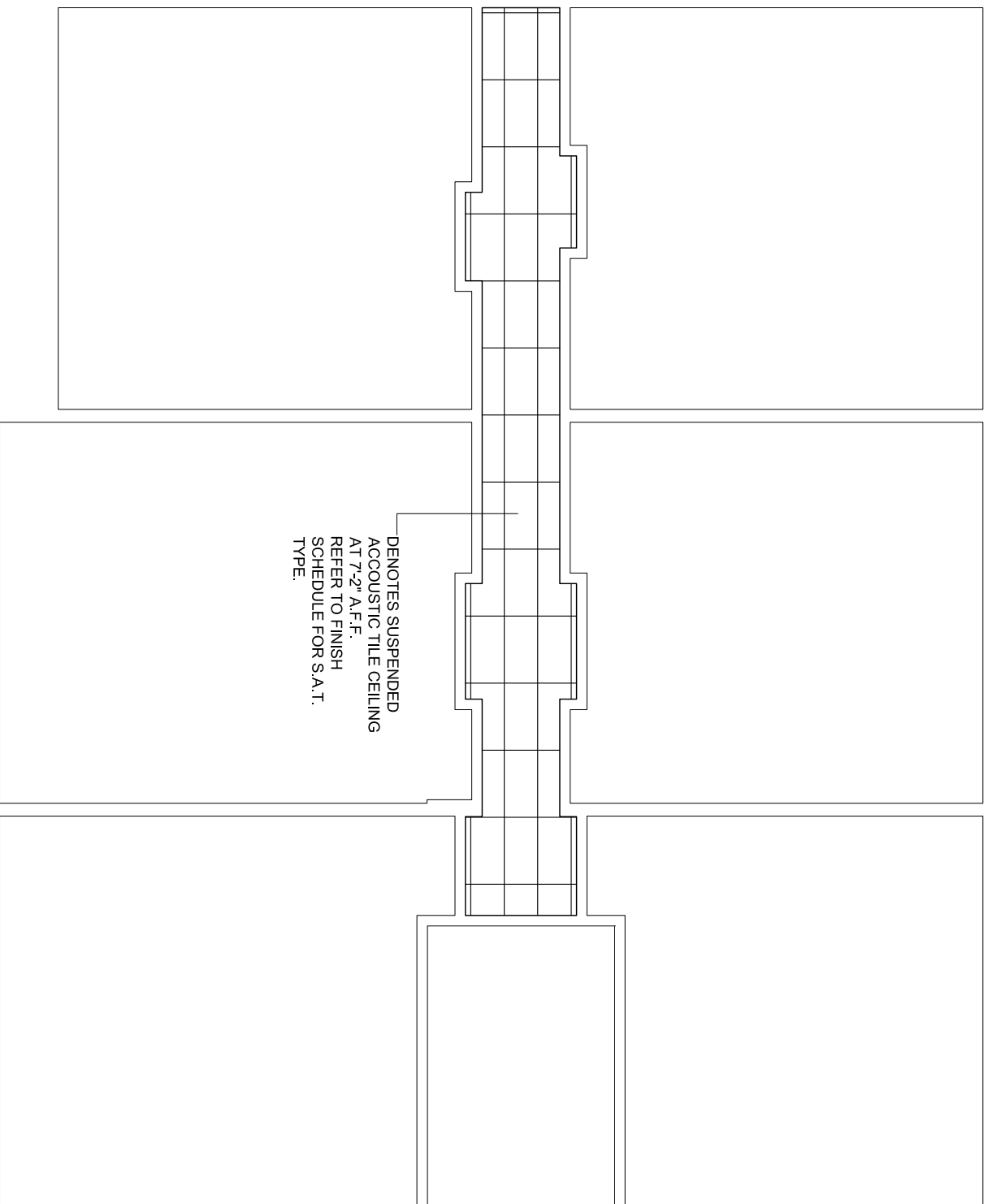
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DENOTES EXISTING
SUSPENDED ACCOUSTIC
TILE CEILING IN
ADJACENT EXISTING 20
UNIT APARTMENT
BUILDING. REMOVE AS
REQUIRED TO INSTALL
NEW MECHANICAL.
RE-INSTALL WHEN
MECHANICAL WORK IS
COMPLETE. REFER TO
MECHANICAL DRAWINGS
FOR EXTENT OF
REMOVALS REQUIRED.



DENOTES SUSPENDED
ACCOUSTIC TILE CEILING
AT 7'-2" A.F.F.
REFER TO FINISH
SCHEDULE FOR S.A.T.
TYPE.



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Project Title:

Proposed 12 Unit Extension to Existing Apartment Building
The Mills, 411 Country Street, Almonte

Drawing List:

Partial Reflected Ceiling Plan - Second Floor

Job No.: 1501 DWG No.

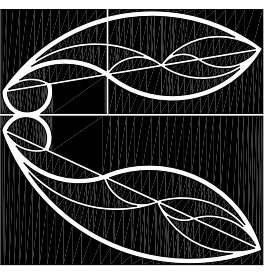
Scale: NTS **ASK-5**

Date: March 02-2018

Drawn By: PM Checked By: PM

DASHED LINE DENOTES ROOF EAVE OF EXISTING THREE STOREY BUILDING ABOVE TO BE REMOVED. EXTEND FIREWALL ABOVE MIN. 6". REFER TO SECTION DETAIL

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Project Title:

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The Mills, 411 Country Street, Almonte

Drawing List:

Partial Building Section

Job No.: 1501 DWG No.

Scale: NTS **ASK-6**

Date: March 02-2018

Drawn By: PM Checked By: PM

